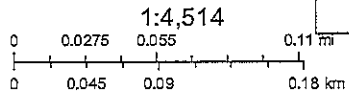


Madison
County
GIS



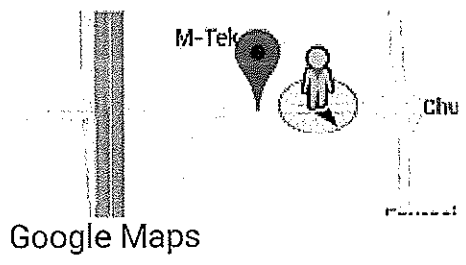
Google Maps Church Rd



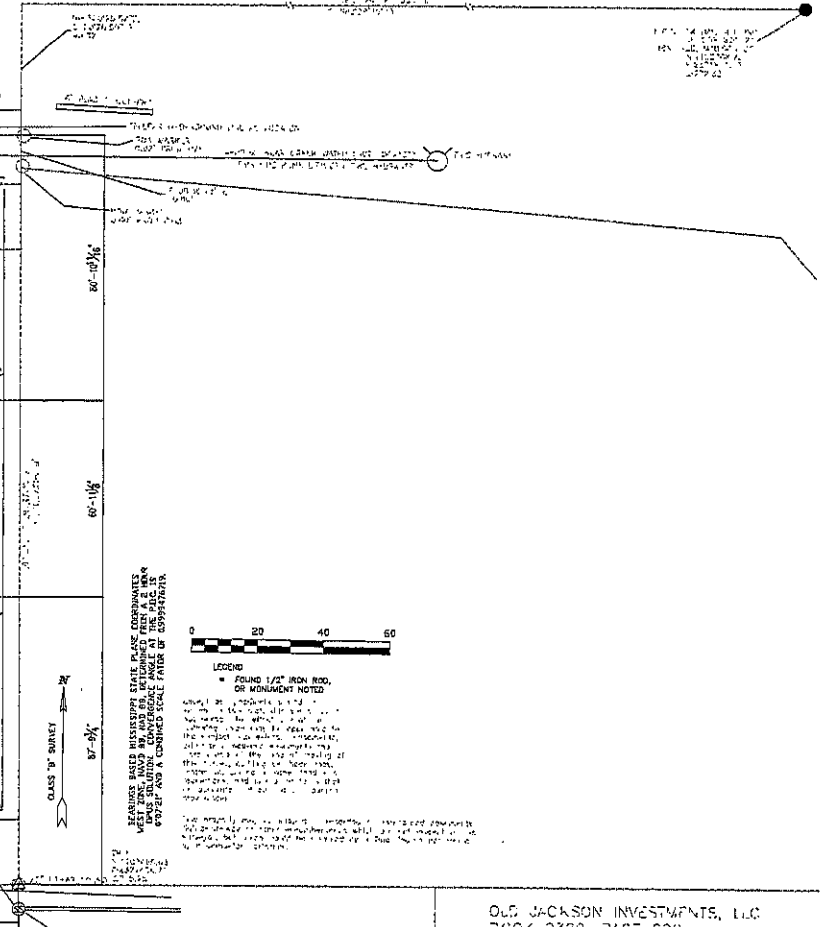
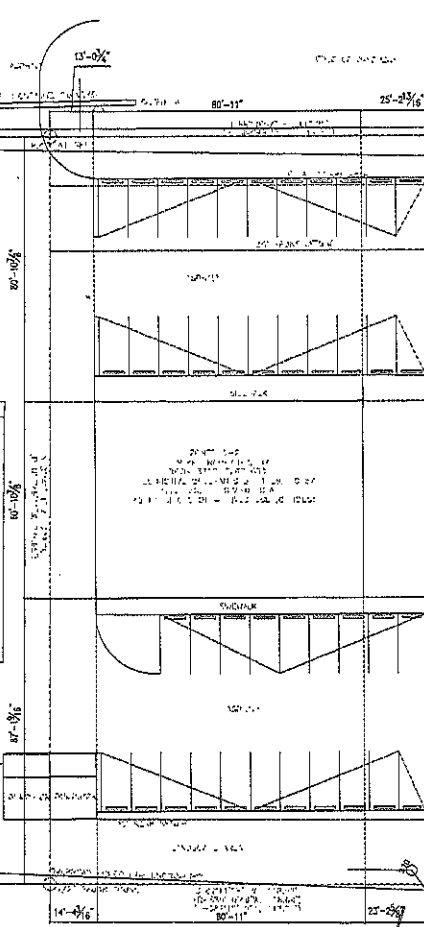
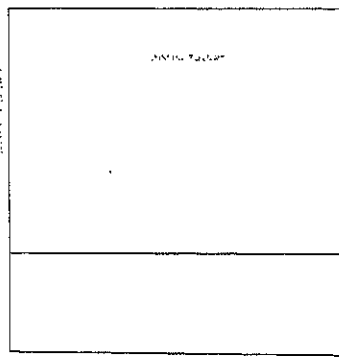
Image capture: May 2013 © 2016 Google

Madison, Mississippi

Street View - May 2013



CHURCH ROAD
(VARIABLE WIDTH ROW)



BEARING EAST MISSISSIPPI STATE PLANK COORDINATES
WEST ZONE, NAD 83, DATUM 1983, REFERENCE POINT A IN PLANK
PROVIDED AND A CORRECTED SCALE PAPER BY SUBMITTER.

MORGAN S. BROWN, L.C.
DB. 540, P. 513

ELMORE ELMORE, L.C.
DB. 2444, P. 723

OLD JACKSON INVESTMENTS, LLC
BOOK 2300, PAGE 222

**PLAT AND TOPO OF 0.626 ACRES FOR
LOCKE PROPERTIES, LLC**
PROPERTY SITUATED IN THE
NE 1/4 OF NE 1/4 OF SECTION 21, T8N, R2E,
MADISON COUNTY, MS

PROJECT NUMBER
2116

PREPARED BY:
W. RANNEY WARD
ARCHITECTS, P.A.
1401 W. RANNEY WARD
MADISON, MISSISSIPPI 39101
TEL: (601) 950-4411
FAX: (601) 950-4419

DATE:
10/20/2011

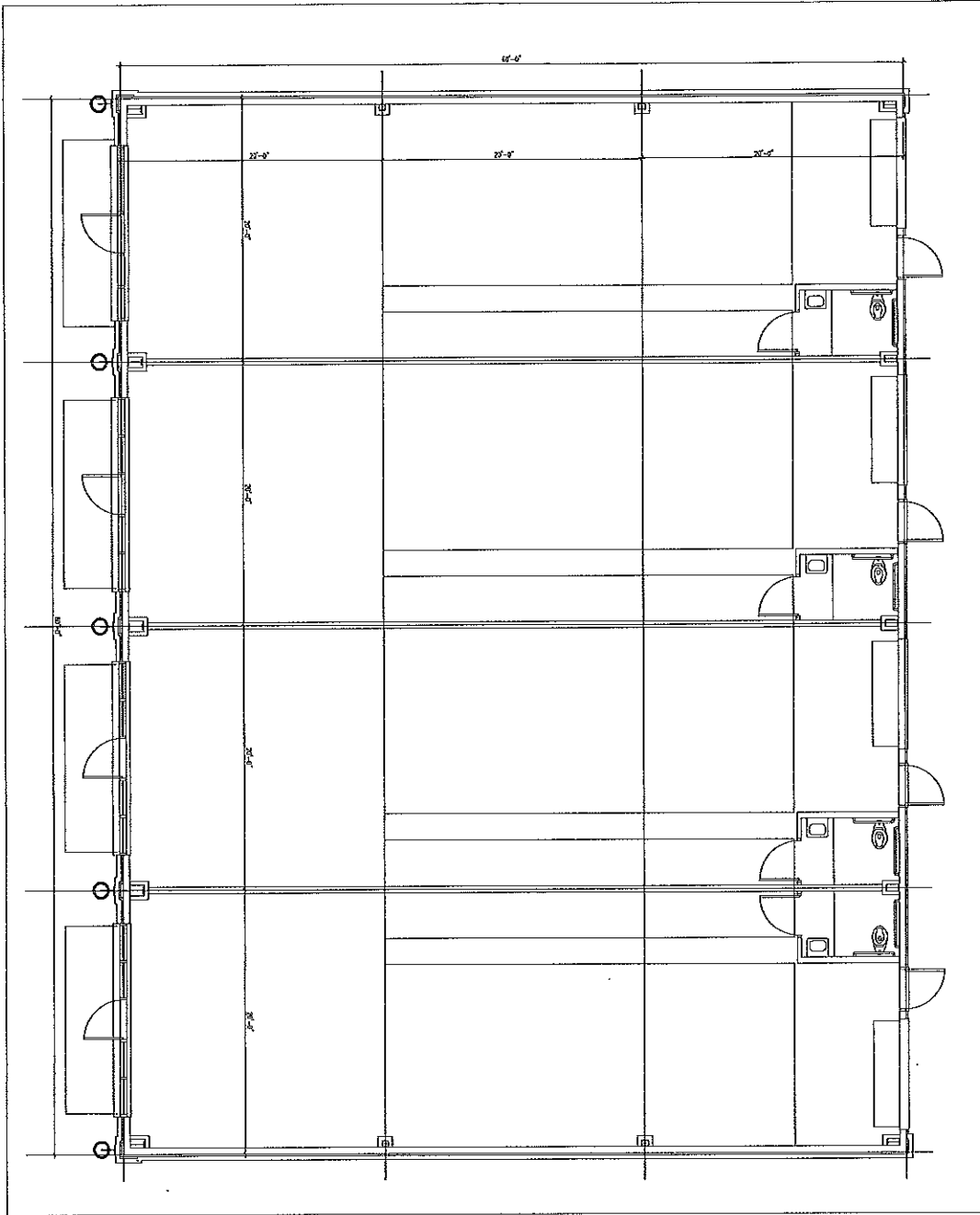
PROJECT:
CHURCH ROAD OFFICE PLEX
LOCKE PROPERTIES, LLC.

ADDRESS: 1421 WIGGISTER ST. JACKSON, MS 39211
CONTENTS: AEG, CIVIL, MEP

REVISIONS:
DATE: 10/20/2011
BY: HAL

DRAWN BY: HAL
CHECKED: HAL
DATE: 10/20/2011

SHEET
XX.X
of _____ SHEETS
TOTAL IN SET: _____



SHEET
XXX
OF
XXX
DATE: 5/18/16

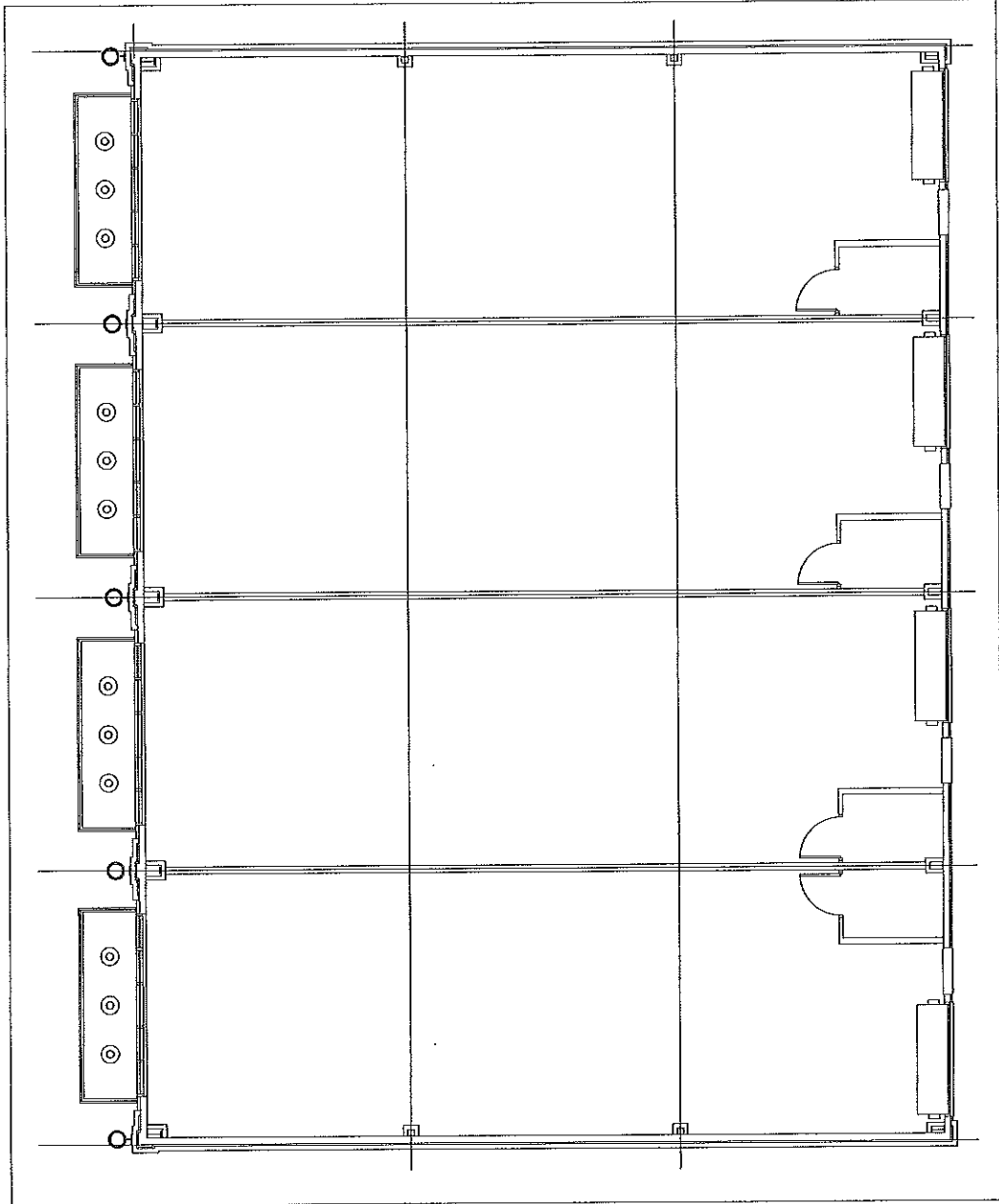
REVISION: _____
 PROJECT: CHURCH ROAD OFFICE PLEX
LOCKE PROPERTIES, LLC.
 ADDRESS: 1421 WINCHESTER ST. JACKSON, MS 39211
 CONTENTS: AEC, CIVIL, MEP

BRUMFIELD & WARD ASSOCIATES, PA
 HAROLD C. BRUMFIELD, JR.
 CSI, CCCA, AIA, NCARB No. 25189 AIA, LEEB AP, MS Lic. 2539
 W. RANDY WARD

1830 NORTH PARK DRIVE, SUITE 200
 BILOXI, MISSISSIPPI 39205
 POST OFFICE BOX 16102
 JACKSON, MISSISSIPPI 39216
 TEL (601) 975-0141
 FAX (601) 975-1177

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PROJECT NUMBER
2116



SHEET
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OF THREE
TOTAL SHEETS

REVISED: _____
 DRAWN BY: JCS
 CHECKED: HAL
 DATE: 3/8/16

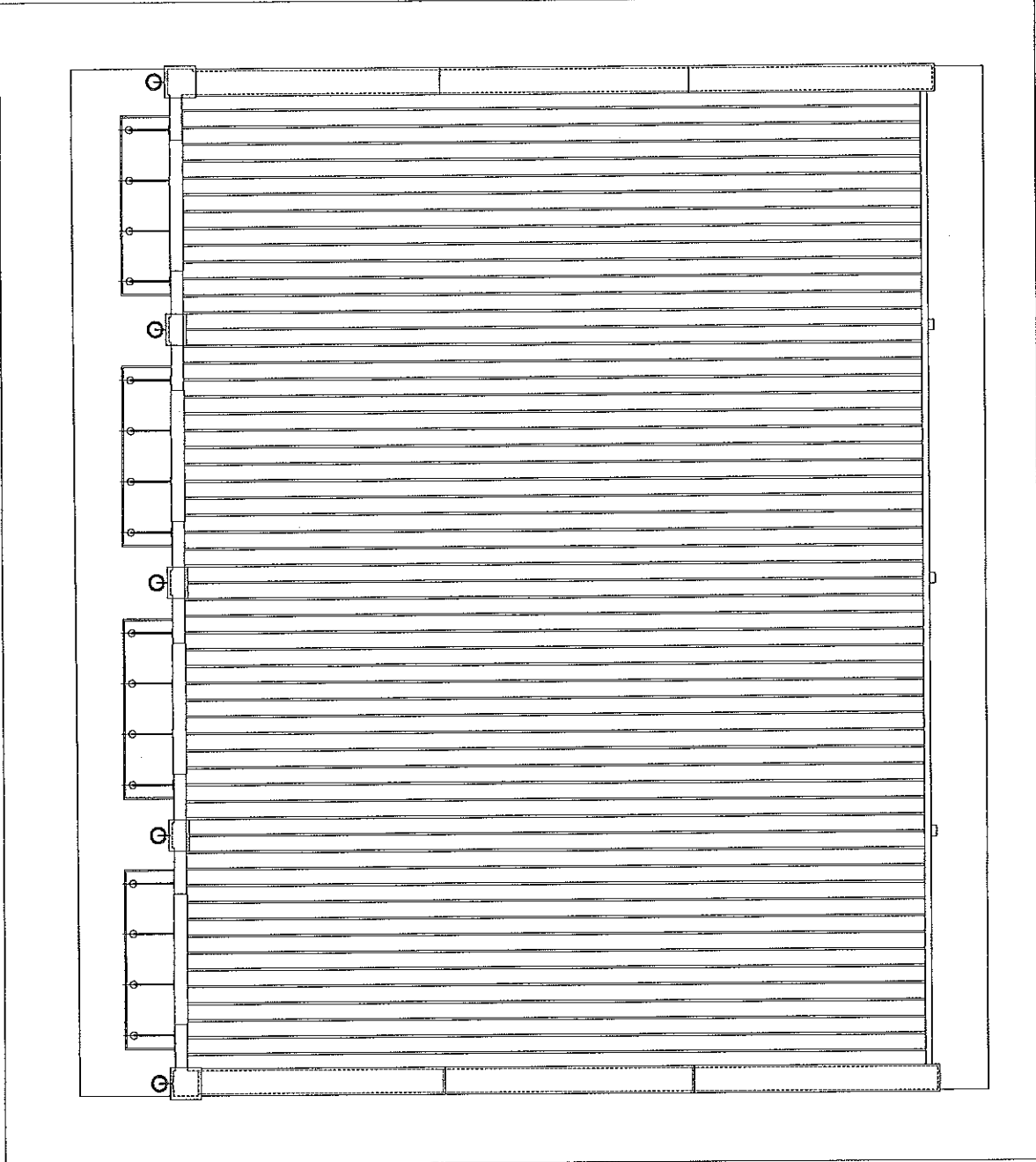
PROJECT: CHURCH ROAD OFFICE PLEX
LOCKE PROPERTIES, LLC.
 ADDRESS: 1421 WINCHESTER ST. JACKSON, MS 39211
 CONTENTS: AEC, CIVIL, MEP

BRUMFIELD
R & W
ASSOCIATES, P.A.
 ARCHITECTS, P.A.
 HAROLD C. BRUMFIELD, JR.
 CSI, CGCA, AIA, NCARB No. 25189
 W. RANDY WARD
 AIA, LEED AP, MS Lic. 2539

100 NORTH PARK DRIVE, SUITE 200
 KIDDELAND, MISSISSIPPI 39205
 POST OFFICE BOX 16461
 JACKSON, MISSISSIPPI 39216
 TEL (601) 952-2011
 FAX (601) 952-4199

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 IS STRICTLY PROHIBITED.
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 CLEARLY BY DIM
 LINES AND COPY PROTECTED
 MATERIALS BY ARCHITECT

PROJECT NUMBER
2116



SHEET
XXX
 TOTAL SHEETS

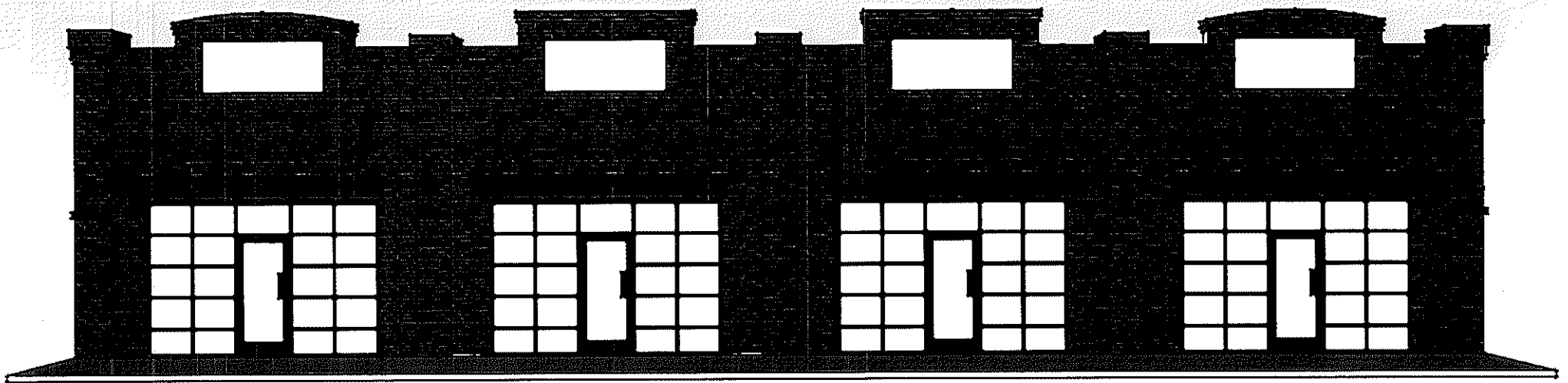
REVISIONS: _____
 DATE: 5/18/16
 DRAWN BY: _____
 CHECKED BY: HHL
 PROJECT: CHURCH ROAD OFFICE PLEX
LOCKE PROPERTIES, LLC.
 ADDRESS: 1421 WINCHESTER ST. JACKSON, MS 39211
 CONTENTS: AEC, CIVIL, MEP

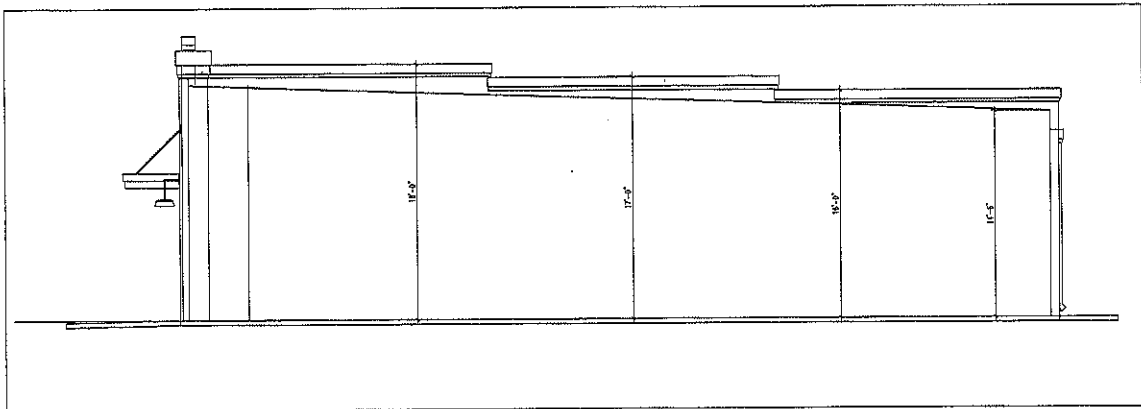
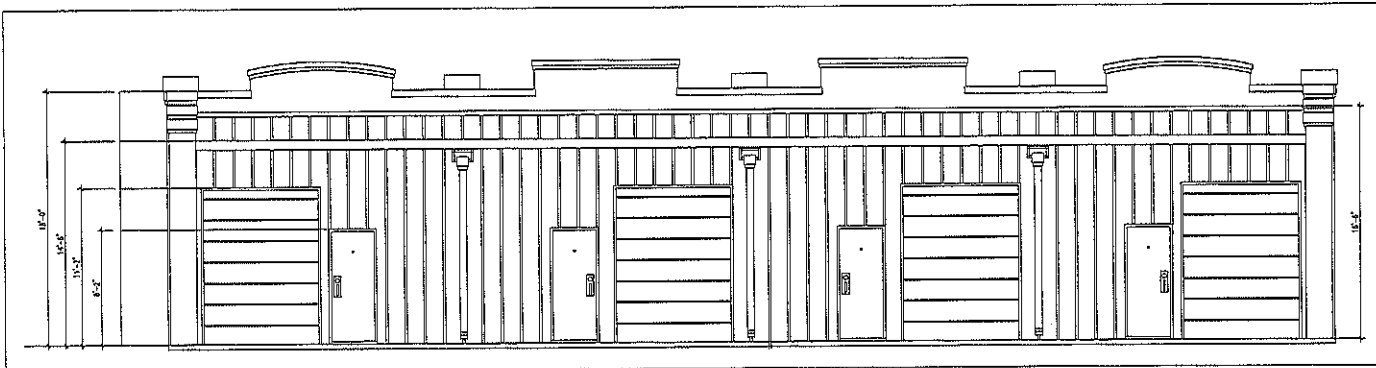
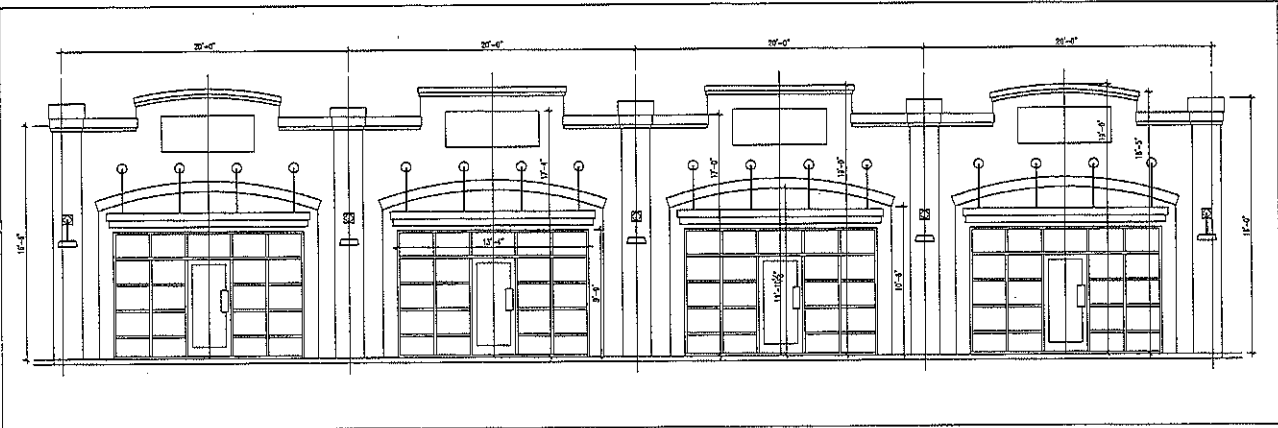
BRUNFIELD
R. W. WARD
ASSOCIATES, PA
 HAROLD C. BRUNFIELD, JR.
 CSI, CCCA, AIA, NCARB No. 25189 AIA, LEED AP, MS Lic. 2539
 W. RANDY WARD
 AIA, LEED AP, MS Lic. 2539

100 NORTH PARK DRIVE, SUITE 200
 RIDGELAND, MISSISSIPPI 39157
 POST OFFICE BOX 1410
 JACKSON, MISSISSIPPI 39206
 TEL (601) 582-0311
 FAX (601) 599-4139

REPRESENTATIVE COPY OF
 THESE DOCUMENTS OR
 PARTS THEREOF SHALL NOT
 BE USED FOR ANY OTHER
 PROJECT WITHOUT THE
 WRITTEN CONSENT OF
 BRUNFIELD & WARD ASSOCIATES, PA

PROJECT NUMBER
2116





PROJECT NUMBER	2116
PROJECT	CHURCH ROAD OFFICE PLEX
ARCHITECT	LOCKE PROPERTIES, LLC.
ADDRESS	1421 WHICHESTER ST. GROSSBORO, NJ 08030
DATE	5/16/16
REVISION	
DRAWN BY	JCE
CHECKED BY	HAL
DATE	5/16/16
PROJECT NUMBER	2116
ARCHITECT	W. RANDY WARD ARCHITECTS, P.A.
ADDRESS	1401 W. RANBY AVENUE, SUITE 200, WILMINGTON, DE 19801
PHONE	302.436.3333
FAX	302.436.3333
WEBSITE	WWW.WRWARDARCHITECTS.COM
PROJECT NUMBER	2116

SHEET
 XX.X
 TOTAL SHEETS
 TOTAL IN SET

APPROVAL OF REED'S METALS INC DRAWINGS INDICATE THAT REED'S METALS INC. CORRECTLY INTERPRETED AND APPLIED THE REQUIREMENTS OF THE CONTRACT DRAWINGS AND SPECIFICATIONS.
 WHERE DISCREPANCIES EXIST BETWEEN THE REED'S METALS INC PLANS AND THE PLANS FOR OTHER TRADES, THE STRUCTURAL STEEL PLANS SHALL GOVERN. (SECT. 4.21 AISI CODE OF STANDARD PRACTICE 9TH ED.)
 DESIGN CONSIDERATIONS OF ANY MATERIALS IN THE STRUCTURE WHICH ARE NOT FURNISHED BY REED'S METALS INC. ARE THE RESPONSIBILITY OF THE CONTRACTORS AND ENGINEERS OTHER THAN REED'S METALS INC. UNLESS SPECIFICALLY INDICATED.

BUILDING LOADS / DESCRIPTION:

WIDTH: 60 LENGTH: 80 HEIGHT: 14 / 16.5
 (BUILDING DIMENSIONS ARE NOMINAL, REFER TO PLANS).

THIS STRUCTURE IS DESIGNED UTILIZING THE LOADS INDICATED AND APPLIED AS REQUIRED BY IBC 12

COUNTY: Madison

THE CONTRACTOR IS TO CONFIRM THAT THESE LOADS COMPLY WITH THE REQUIREMENTS OF THE LOCAL BUILDING DEPARTMENT.

ROOF DEAD LOAD: 2.000 PSF (ROOF PANELS & PURLINS)

COLLATERAL LOAD: 3 PSF

ROOF LIVE LOAD: 20.00 PSF REDUCED? Yes

ROOF SNOW LOAD: 3.5 PSF

GROUND SNOW LOAD: 5 PSF

BASIC WIND SPEED: 115 MPH

WIND EXPOSURE: B

SEISMIC ZONE: C

IMPORTANCE FACTORS:

WIND LOAD: 1.00

SNOW LOAD: 1.0000

SEISMIC LOAD: 1.00

RISK CATEGORY: II

ROOF PANELS:

COLOR: Galvalume

WALL PANELS:

COLOR: Need Color

TRIM COLORS:

GABLE: Need Color

CORNER: Need Color

EAVE: Need Color

FRAMED OPENINGS: Need Color

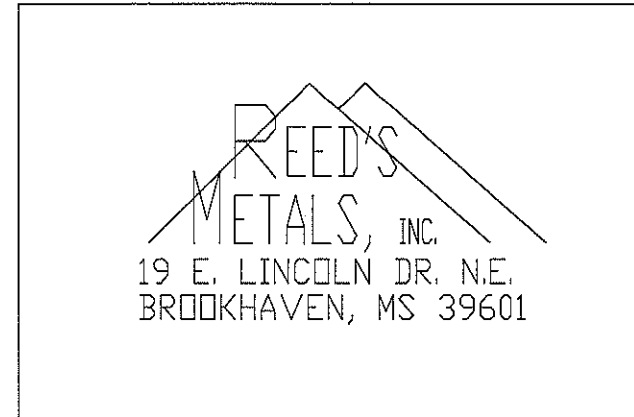
LINER PANELS:

COLOR: N/A

LINER TRIM:

COLOR: N/A

SPECIAL NOTES:

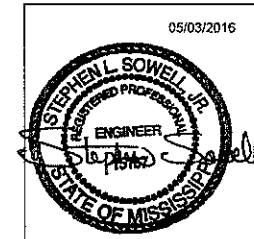


SCHEDULE OF ACCESSORIES
4) MORTISE LOCKSET
4) WALK DOOR CLOSURE
4) 3070 (M) WALKDOOR (W/ LEAF, FRAME, HINGE & THRESHOLD)
4) Chain Hoist
4) 8'0"x10'0" Rollup Door

SCHEDULE OF DRAWINGS	
B1-B3	ANCHOR BOLT DWGS
E1-E6	ERECTION DWGS
ES-E10	CROSS SECTIONS
D1-D8	STD DETAIL DWGS

**PERMIT DRAWINGS
NOT FOR CONSTRUCTION**

PURCHASER: Locke Properties llc
 PROJECT: Locke Properties Llc
 JOB NUMBER: H2395-16



H2395-16
 REVISED PROJECT NAME

PREPARED BY: [Name]
 CHECKED BY: [Name]
 DATE: 5/2/16

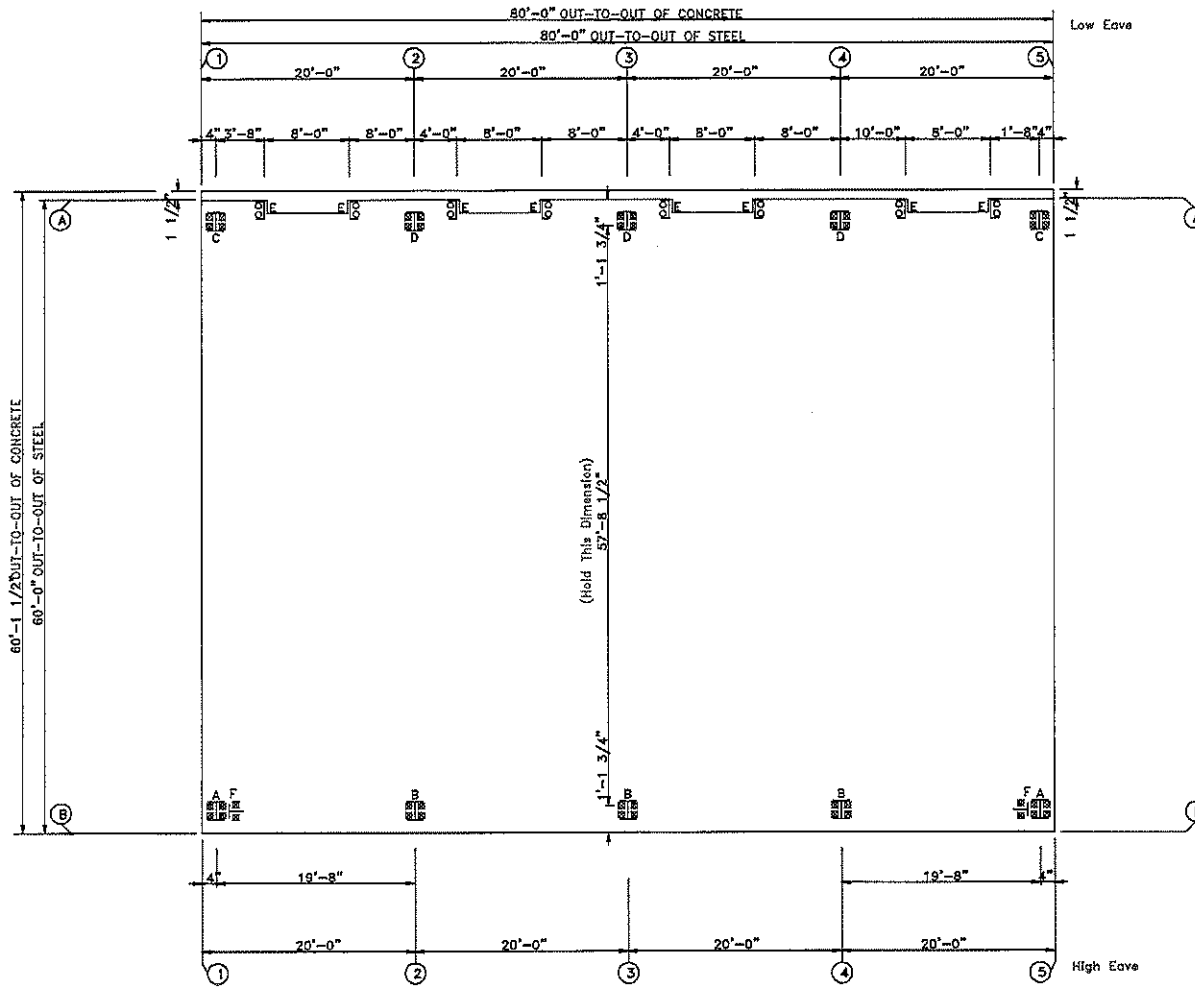
PROJECT: LOCKE PROPERTIES LLC
 ADDRESS: 100 S. GARDNER ST.
 CONTENTS: 000000

DRAWN BY: [Name]
 CHECKED BY: [Name]
 DATE: 5/2/16

BRUNFIELD
 RANDY WARD
 ASSOCIATES
 ARCHITECTS, P.A.
 HAROLD C. BRUNFIELD, JR.

W. RANDY WARD

SHEET
C1
 OF SHEETS
 TOTAL IN SET:



ANCHOR BOLT PLAN
 NOTE: All Base Plates @ 100'-0" (U.N.)

PERMIT DRAWINGS
 NOT FOR CONSTRUCTION

- Dia= 1/2"
- ⊗ Dia= 3/4"

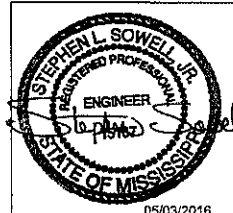
H2395-16
 HUD PROJECT NAME

APPROVED BY THE ARCHITECT FOR THE CONTRACTOR'S USE IN THE FIELD. THIS DRAWING IS TO BE USED ONLY FOR THE PROJECT AND NOT FOR ANY OTHER PURPOSE.

PROPOSED BASE CRATER: 12" DIA. x 12" DEEP. ALL CRATERS TO BE REINFORCED WITH #4 REBAR. ALL CRATERS TO BE FULFILLED WITH CONCRETE.

BRUNFIELD
 DW
 WARD
 ASSOCIATES
 ARCHITECTS, P.A.
 HAROLD C. BRUNFIELD, JR.
 W. RANDY WARD

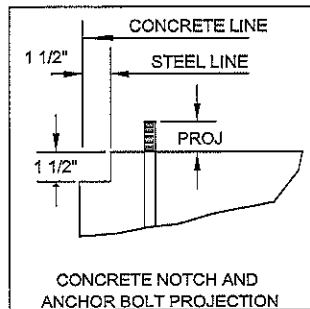
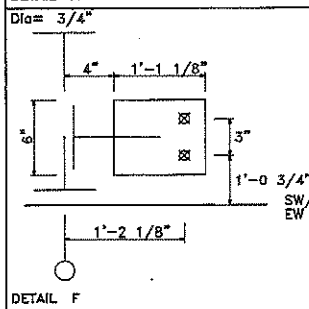
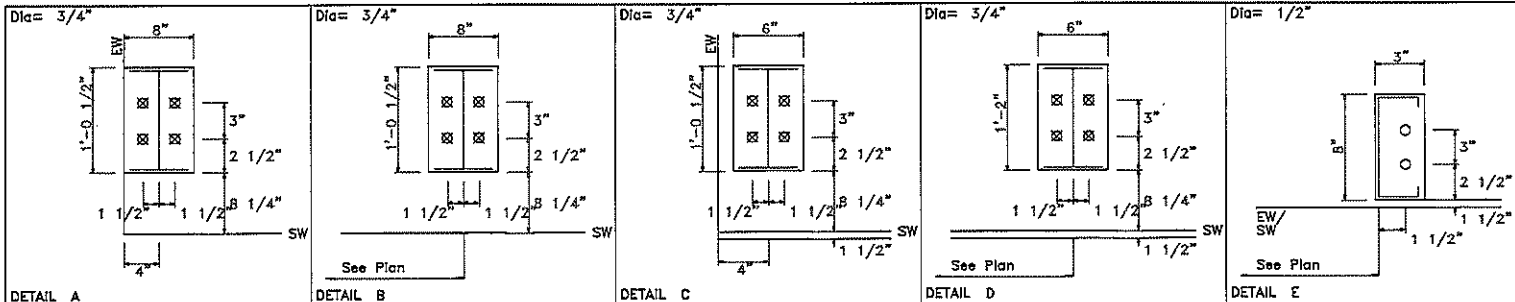
LOCKE PROPERTIES LLC



PROJECT: LOCKE PROPERTIES LLC
 ADDRESS: 185 SONSON'S WAY
 CONTENTS: 1000000X
 DRAWN BY: RB
 CHECKED BY: BYB
 DATE: 3/2/16



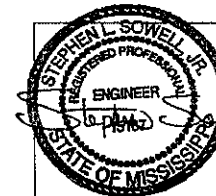
SHEET
 B1
 of 3 SHEETS
 TOTAL IN SET



PERMIT DRAWINGS
NOT FOR CONSTRUCTION

GENERAL NOTES

1. FOUNDATION DESIGN AND CONSTRUCTION ARE NOT THE RESPONSIBILITY OF REED'S METAL BUILDINGS.
2. THE BUILDING REACTION DATA REPORTS THE LOADS WHICH THIS BUILDING PLACES ON THE FOUNDATION.
3. ANCHOR BOLTS SHALL BE ACCURATELY SET TO A TOLERANCE OF +/- 1/8" IN BOTH ELEVATION AND LOCATION.
4. COLUMN BASE PLATES ARE DESIGNED NOT TO EXCEED A BEARING PRESSURE OF 1125 POUNDS PER SQUARE INCH.



05/03/2016



H2395-16
(LID) PROJECT NAME
PROJECT NO. 16-001
DATE: 05/03/2016
DRWING: RJS
CHECKED: BRS
DATE: 5/2/16
REVISION:
ADDRESS: 216 CANTON BLVD GALVESTON, TX 77550
CONTACT: 281-688-2200
PROJECT: LOCKE PROPERTIES LLC
ARCHITECT: BUNNFIELD R. WARD & ASSOCIATES ARCHITECTS, PA HAROLD C. BRUMFIELD, JR. W. RANDY WARD
SHEET: B2
TOTAL SHEETS: 2

RIGID FRAME: BASIC COLUMN REACTIONS (k)

Frame Line	Column Line	Dead	Collateral	Live	Snow	Wind_Left	Wind_Right
		Horz	Vert	Horz	Vert	Horz	Vert
1*	A	0.6	1.2	0.5	0.9	2.1	3.7
1*	B	-0.6	1.5	-0.5	0.9	-2.1	-3.7

Frame Line	Column Line	Wind_Left2	Wind_Right2	Wind_Long1	Wind_Long2	Seismic_Left	Seismic_Right
		Horz	Vert	Horz	Vert	Horz	Vert
1*	A	-4.6	-5.4	0.2	-1.5	-2.2	-5.3
1*	B	2.1	-4.8	3.2	-2.5	2.3	-28.6

Frame Line	Column Line	Seismic_Long	MIN_SNOW
		Horz	Vert
1*	A	0.0	0.9
1*	B	0.0	-16.1

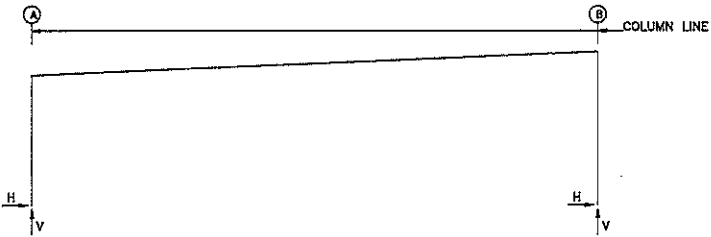
Frame Line	Column Line	Dead	Collateral	Live	Snow	Wind_Left	Wind_Right
		Horz	Vert	Horz	Vert	Horz	Vert
2*	A	1.0	2.2	1.0	1.8	3.5	7.2
2*	B	-1.0	2.5	-1.0	1.8	-3.5	-7.2

Frame Line	Column Line	Wind_Left2	Wind_Right2	Wind_Long1	Wind_Long2	Seismic_Left	Seismic_Right
		Horz	Vert	Horz	Vert	Horz	Vert
2*	A	-5.6	-6.7	0.7	-1.6	-5.7	-10.5
2*	B	1.7	-6.6	4.2	-3.0	4.0	-10.6

Frame Line	Column Line	MIN_SNOW	
		Horz	Vert
2*	A	1.6	3.0
2*	B	-1.6	3.0

1* Frame Lines: 1 5
2* Frame Lines: 2 3 4

FRAME LINES: 1 2 3 4 5



RIGID FRAME: MAXIMUM REACTIONS, ANCHOR BOLTS, & BASE PLATES

Frm Line	Col Line	Load ID	Column Reactions (k)			Anc Bolt Qty	Anc Bolt Dia	Base Plate (in)			Grout (in)
			H	V	M			Width	Length	Thick	
1*	A	1	3.3	5.8	-2.9	4	0.750	6.000	12.50	0.375	0.0
1*	B	3	2.0	-1.9	-3.3	4	0.750	8.000	12.50	0.375	0.0

1* Frame lines: 1 5

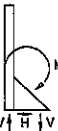
RIGID FRAME: MAXIMUM REACTIONS, ANCHOR BOLTS, & BASE PLATES

Frm Line	Col Line	Load ID	Column Reactions (k)			Anc Bolt Qty	Anc Bolt Dia	Base Plate (in)			Grout (in)
			H	V	M			Width	Length	Thick	
2*	A	1	5.8	11.2	-4.0	4	0.750	6.000	14.00	0.375	0.0
2*	B	3	2.7	-3.0	-5.8	4	0.750	8.000	12.50	0.375	0.0

2* Frame lines: 2 3 4

WIND COLUMN REACTIONS

Loc	Line	R/L	Load ID	± Reactions		Moment (f-k)	Anc Bolt Qty	Anc Bolt Dia	Base Plate (in)		
				Horz (k)	Vert (k)				Width	Length	Thick
F_SW	B	1	R	2.0	25.2	31.2	2	0.750	6.000	13.110	0.500
F_SW	B	5	L	2.0	25.2	31.2	2	0.750	6.000	13.110	0.500



ANCHOR BOLT SUMMARY

Qty	Locate	Dia (in)	Type	Total Len (in)	Proj (in)
Ø 16	Jamb	1/2"	A307	5.00	2.00
Ø 40	Frame	3/4"	A307	12.0	3.00
Ø 4	WindCol	3/4"	A307	12.0	3.00

BUILDING BRACING REACTIONS

Wall Loc	Col Line	± Reactions (k)			Panel Shear (lb/ft)	Note
		Wind Horz	Wind Vert	Seismic	Wind Sels	
L_EW	1				45	(h)
F_SW	B	1	5			(g)
R_EW	5				16	(h)
B_SW	A					

(g) Wind column at column line
(h) Rigid frame at endwall

NOTES FOR REACTIONS

- Building reactions are based on the following building data:
- Width (ft) = 60.0
 - Length (ft) = 80.0
 - Eave Height (ft) = 14.0 / 16.5
 - Roof Slope (rise/12) = 0.5
 - Dead Load (psf) = 2.0
 - Collateral Load (psf) = 3.0
 - Roof Live Load (psf) = 20.0
 - Frame Live Load (psf) = 12.0
 - Snow Load (psf) = 3.5
 - Wind Speed (mph) = 115.0
 - Wind Code = IBC 12
 - Exposure = B
 - Closed/Open = C
 - Importance Wind = 1.00
 - Importance Seismic = 1.00
 - Seismic Zone = C
 - Seismic Coeff (Fa*Sa) = 0.27
- | ID | Description |
|----|---|
| 1 | Dead+Collateral+Live |
| 2 | 0.6Dead+0.6Wind_Left1 |
| 3 | 0.6Dead+0.6Wind_Right1 |
| 4 | 0.6Dead+0.6Wind_Long2 |
| 5 | 1.03Dead+1.03Collateral+0.7Seismic_Long |

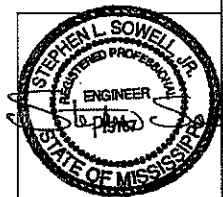
PERMIT DRAWINGS NOT FOR CONSTRUCTION

H2395-16

LOCKE PROPERTIES LLC
1555 GARDNER DRIVE
N. JARVIS MS
39206-3507
601-875-2111
601-875-2112
601-875-2113
601-875-2114
601-875-2115

BRUNFIELD
WARD
ASSOCIATES
ARCHITECTS P.A.
HAROLD C. BRUNFIELD, JR.
W. RANDY WARD

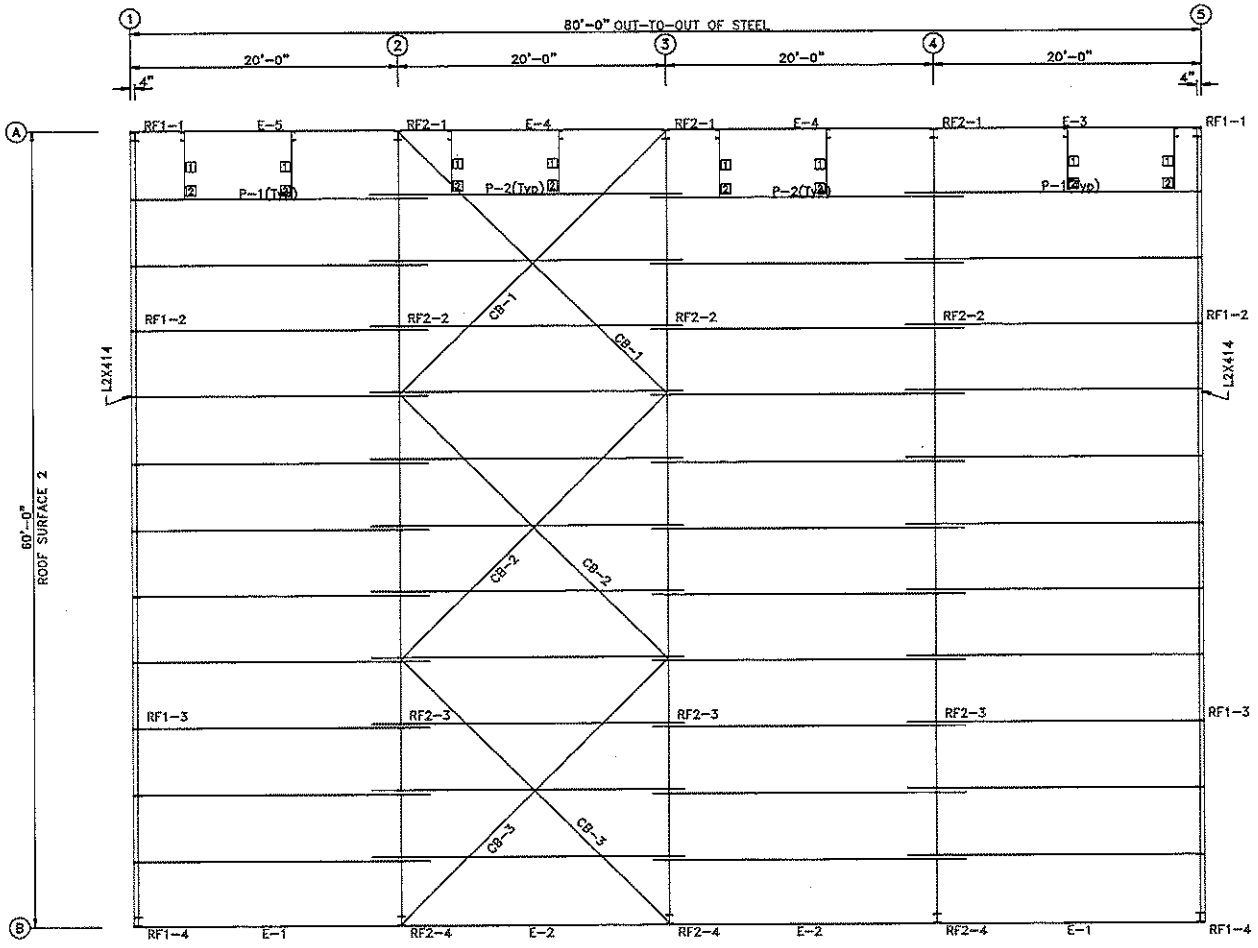
LOCKE PROPERTIES LLC
ADDRESS: 1555 GARDNER DRIVE
CONTENTS: H2395



05/03/2016

REED'S METALS, INC.
Metal Roofing • Steel Buildings
www.reedsmetals.com

SHEET
B3
TOTAL SHEETS



ROOF FRAMING PLAN

PERMIT DRAWINGS
NOT FOR CONSTRUCTION

MEMBER TABLE		
ROOF PLAN		
MARK	PART	LENGTH
P-1	8X25Z16	22'-1 1/2"
P-2	8X25Z16	23'-3 1/2"
E-1	8E14HI	19'-11 1/2"
E-2	8E14HI	19'-11 1/2"
E-3	8E14LOW	19'-11 1/2"
E-4	8E14LOW	19'-11 1/2"
E-5	8E14LOW	19'-11 1/2"
CB-1	0.25 CBL	59'-8"

CONNECTION PLATES	
ROOF PLAN	
ID	MARK / PART
1	BRACE
2	dt

H2395-16

ROOF PROJECT NAME

100 SOUTH PARK DRIVE
MEMPHIS, MISSISSIPPI 38119
TEL: (901) 522-4244
FAX: (901) 522-4244

ARCHITECT: HAROLD C. BRIDGEMAN, ARCHITECTS, P.A.
100 SOUTH PARK DRIVE
MEMPHIS, MISSISSIPPI 38119
TEL: (901) 522-4244
FAX: (901) 522-4244

W. SANDY WARD

BRIDGEMAN
WARD
ASSOCIATES
ARCHITECTS, P.A.
HAROLD C. BRIDGEMAN, R.

LOCKE PROPERTIES LLC

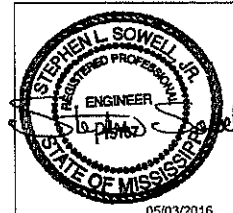
PROJECT: 100 SOUTH PARK DRIVE
ADDRESS: 100 SOUTH PARK DRIVE
CONTENTS: 000000

DRAWN BY: KJ
CHECKED: 8788
DATE: 5/2/16

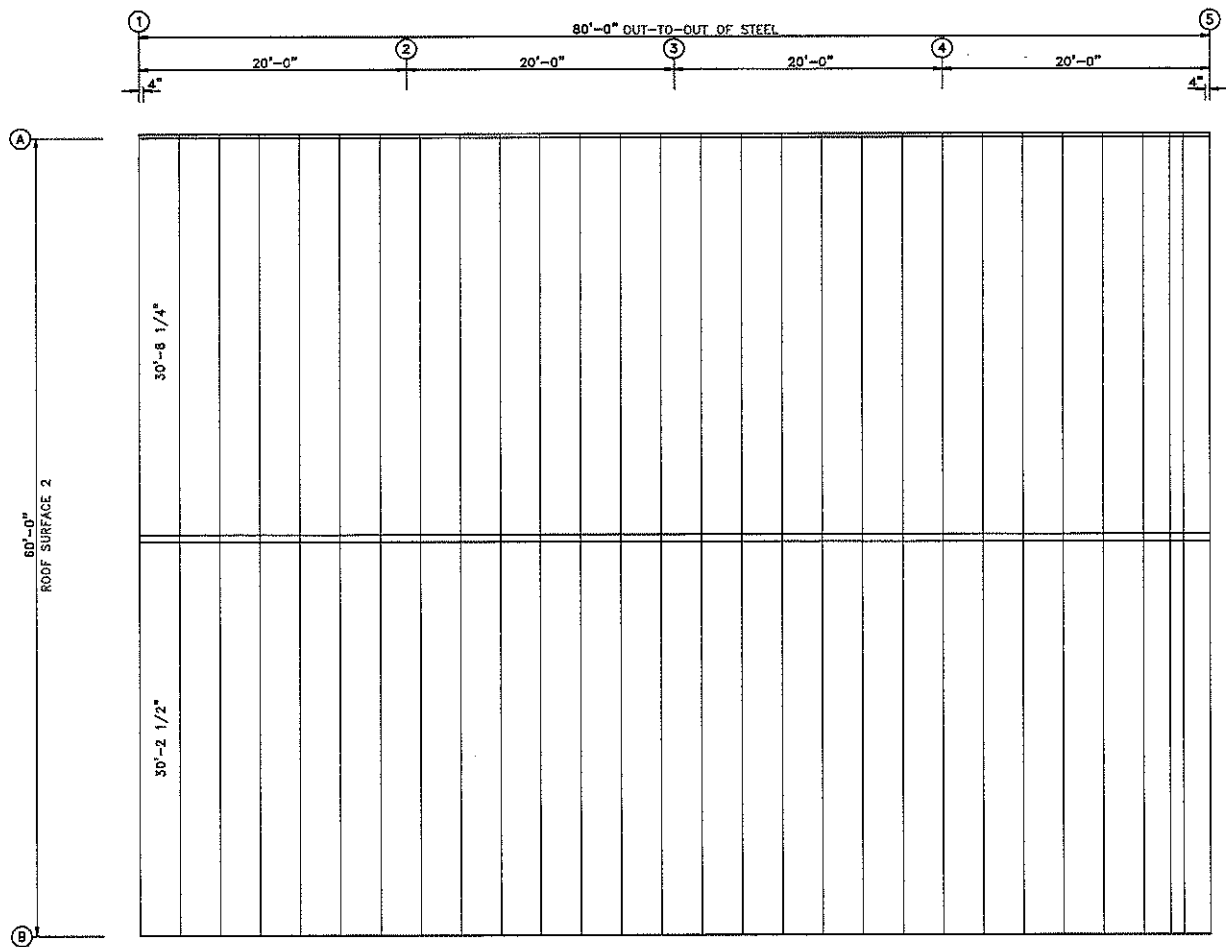
05/03/2016

REVISIONS

SHRIT
E1
47 SHEETS
TOTAL IN SET 10



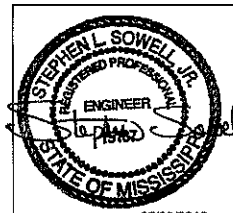
PERMANENT CABLE NOTE:
THE CABLE BRACING IS PERMANENT BRACING AND CAN NOT BE
REMOVED AFTER THE ERECTION OF THE BUILDING.



ROOF SHEETING PLAN
 PANELS: 26 Ga. PR - Galvalume

GENERAL NOTES:
 ROOF DRAWING NOTES:
 High Rib on each side
 of peak must align for
 proper fit of ridge cap.

**PERMIT DRAWINGS
 NOT FOR CONSTRUCTION**



05/03/2016



H2395-16
 RIB PROJECT DATA

PROJECT NO. 16-0001
 PROJECT NAME: LOCKE PROPERTIES LLC
 PROJECT ADDRESS: 10000 W. RANDY WARD
 PROJECT CITY: HAROLD C. BRUMFIELD, JR.
 PROJECT STATE: MISSISSIPPI

DESIGNED BY: W. RANDY WARD
 CHECKED BY: W. RANDY WARD
 DATE: 5/2/16

W. RANDY WARD
 ARCHITECTS, P.A.
 HAROLD C. BRUMFIELD, JR.

BRUMFIELD
 W. RANDY WARD
 ARCHITECTS, P.A.
 HAROLD C. BRUMFIELD, JR.

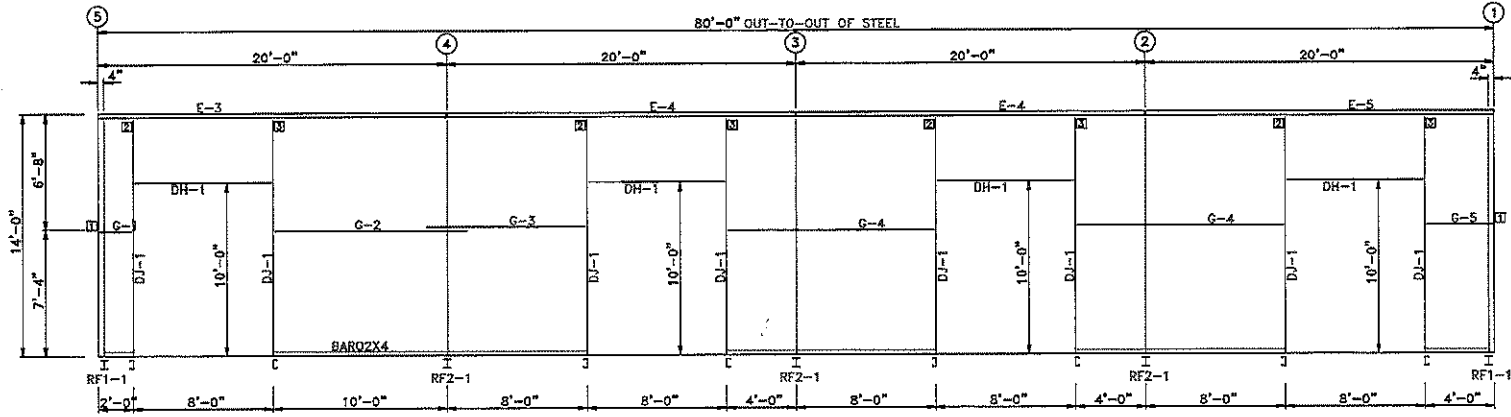
LOCKE PROPERTIES LLC
 PROJECT: 10000 W. RANDY WARD
 ADDRESS: 10000 W. RANDY WARD
 CONTENTS: ROOF SHEETING PLAN

REVISIONS:
 NO. 1
 DATE: 5/2/16
 BY: W. RANDY WARD
 CHECKED BY: W. RANDY WARD

SHEET
 E2
 47 SHEETS
 TOTAL 16-SEP 16

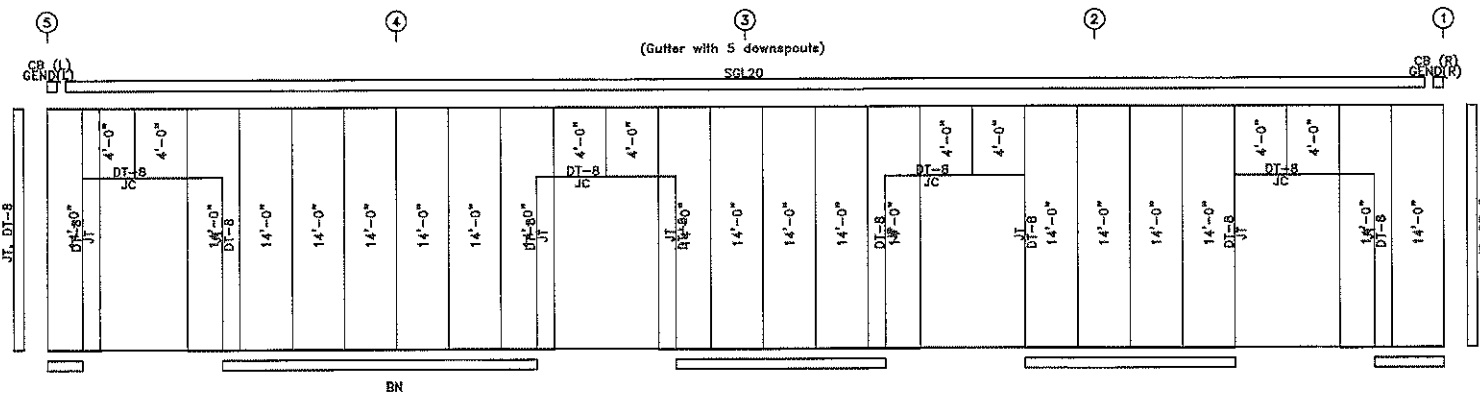
MEMBER TABLE FRAME LINE A		
MARK	PART	LENGTH
DJ-1	8X25C16	13'-3 3/4"
DH-1	8X25C16	7'-11 1/2"
F-1	8E14LOW	19'-11 1/2"
F-4	8E14LOW	19'-11 1/2"
F-5	8E14LOW	19'-11 1/2"
C-1	8X25Z16	1'-7 1/4"
C-2	8X25Z16	10'-9 1/4"
C-3	8X25Z16	11'-3 1/4"
C-4	8X25Z16	11'-3 1/4"
C-5	8X25Z16	3'-7 1/4"

CONNECTION PLATES FRAME LINE A	
ID	MARK/PART
1	SA005
2	e1
3	e2



SIDEWALL FRAMING: FRAME LINE A

PERMIT DRAWINGS
NOT FOR CONSTRUCTION



SIDEWALL SHEETING & TRIM: FRAME LINE A
PANELS: 26 Gc. PR - NEED GROUP 1 COLOR

FIELD WORK WILL BE REQUIRED.

NOTE:
THE DESIGNATED WALL ON THE ERECTION DRAWINGS HAS BEEN DESIGNED USING A PANEL SHEAR DIAPHRAGM AS BRACING. REMOVAL OR ALTERATION OF WALL SHEETS OR FASTENERS IS PROHIBITED. THE EFFECT OF OPENINGS OTHER THAN THOSE LISTED ON THE CONTRACT MUST BE EVALUATED BY A REGISTERED DESIGN PROFESSIONAL.

H2395-16

LOCKE PROPERTIES LLC

ARCHITECTS: BRYAN B. WARD ASSOCIATES ARCHITECTS, P.A. HAROLD C. ENGBRECHT, JR. W. RANDY WARD

PROTECT: STEPHEN L. SOWELL, JR. REGISTERED PROFESSIONAL ENGINEER STATE OF MISSISSIPPI

05/03/2016

REED'S METALS, INC. Metal Roofing • Steel Buildings www.reedsmetals.com

SHIRT E3 4 SHEETS TOTAL 4 SET 10

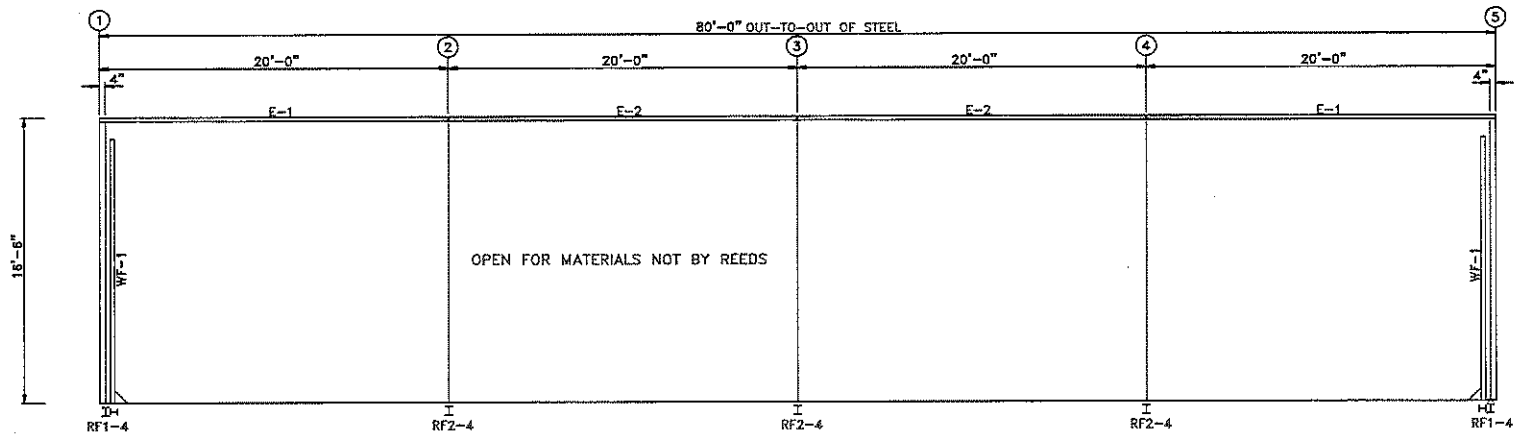
BOLT TABLE			
FRAME LINE B			
LOCATION	QUAN	TYPE	DIA
WF-1 - RF1-4	2	A325	5/8"
			1 3/4"

MEMBER TABLE		
FRAME LINE B		
MARK	PART	LENGTH
WF-1	WBX15	15'-6"
E-1	8E14HI	19'-11 1/2"
E-2	8E14HI	19'-11 1/2"

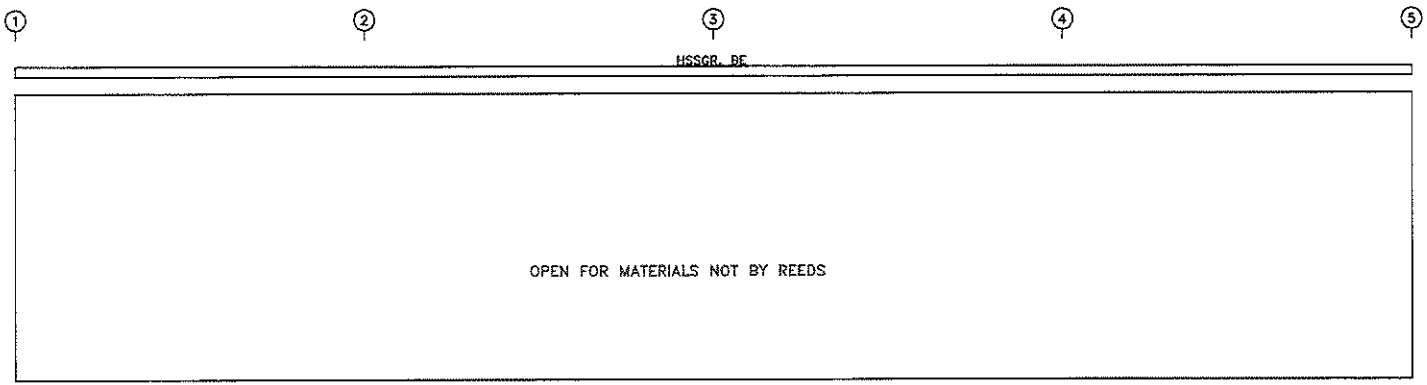
H2395-16
PROJECT NUMBER

APPROVED AS SHOWN
FOR THE PROJECT
DATE: 05/03/2016
BY: [Signature]

FOR THE PROJECT
DATE: 05/03/2016
BY: [Signature]

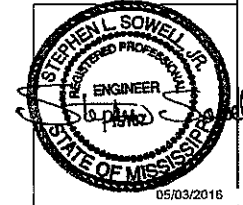


SIDEWALL FRAMING: FRAME LINE B



SIDEWALL SHEETING & TRIM: FRAME LINE B

PERMIT DRAWINGS
NOT FOR CONSTRUCTION

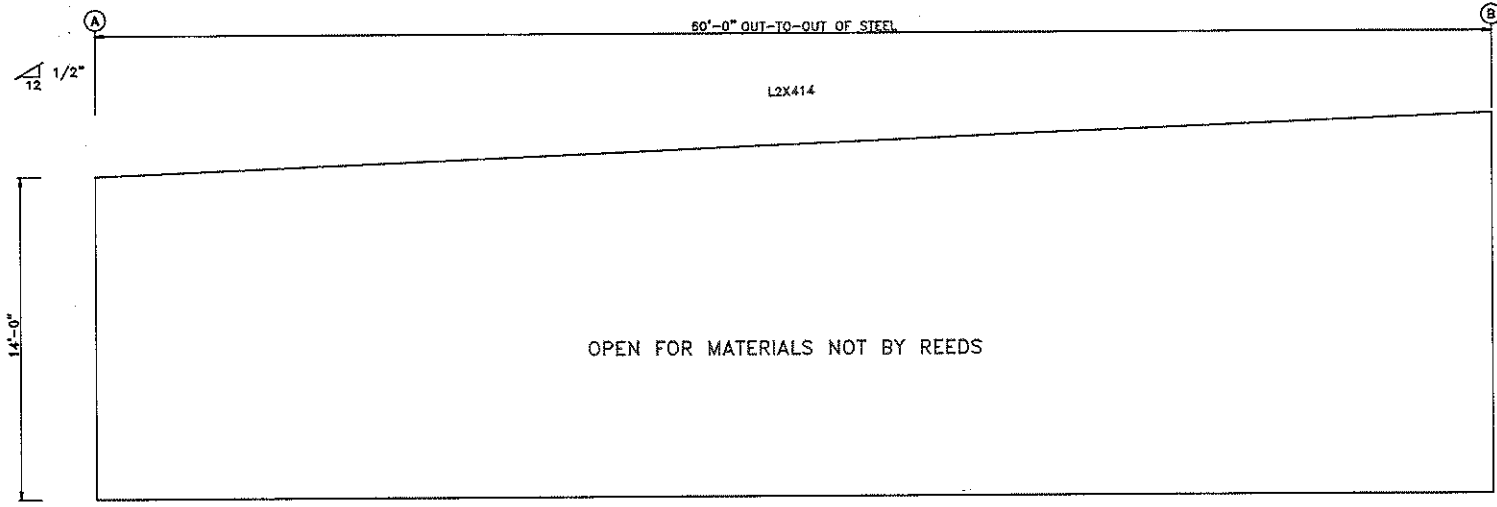


LOCKE PROPERTIES LLC

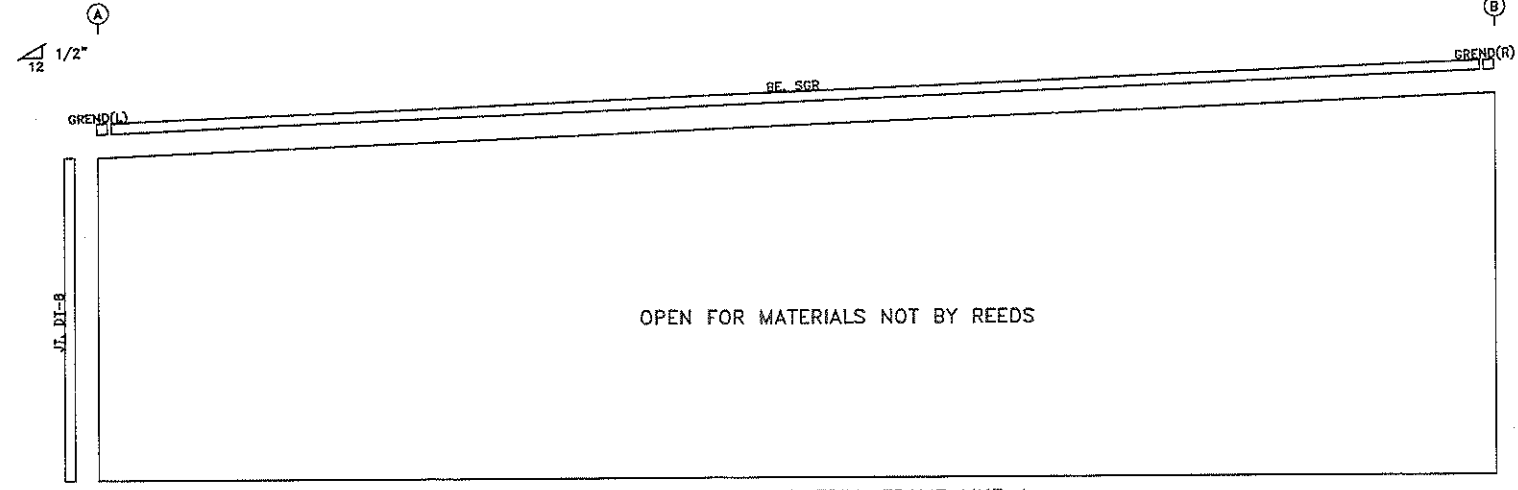
PROTECT: 10.00000000
ADDRESS: 10.00000000
CONTENTS: 00000000



SHEET
E4
of SHEETS
TOTAL in SET 10

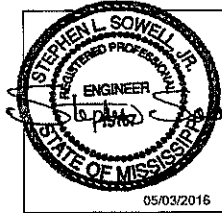


ENDWALL FRAMING: FRAME LINE 1



ENDWALL SHEETING & TRIM: FRAME LINE 1

**PERMIT DRAWINGS
NOT FOR CONSTRUCTION**



05/03/2016



H2395-16

PROJECT: LOCKE PROPERTIES LLC
ADDRESS: 1850 S. GARDNER BLVD
CONTENTS: 30005X

DESIGNED BY: W. RANDY WARD
CHECKED BY: HAROLD C. BRUMFIELD, JR.
DATE: 5/2/16

PROJECT: LOCKE PROPERTIES LLC
ADDRESS: 1850 S. GARDNER BLVD
CONTENTS: 30005X

DESIGNED BY: W. RANDY WARD
CHECKED BY: HAROLD C. BRUMFIELD, JR.
DATE: 5/2/16

PROJECT: LOCKE PROPERTIES LLC
ADDRESS: 1850 S. GARDNER BLVD
CONTENTS: 30005X

PROJECT: LOCKE PROPERTIES LLC
ADDRESS: 1850 S. GARDNER BLVD
CONTENTS: 30005X

PROJECT: LOCKE PROPERTIES LLC
ADDRESS: 1850 S. GARDNER BLVD
CONTENTS: 30005X

SHEET
E5
of SHEETS
TOTAL in SET 10

H2395-16

PROJECT NUMBER

PROVISIONS IN ANY CONTRACT SHALL BE SUPERSEDED BY THE TERMS AND CONDITIONS OF THIS AGREEMENT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL, STATE AND FEDERAL AGENCIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY INSURANCE COVERAGE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY UTILITIES INFORMATION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY SURVEYING INFORMATION.

FOR THE DESIGNER'S USE ONLY: THIS DRAWING WAS PREPARED BY REED'S METALS, INC. FOR LOCKE PROPERTIES LLC. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL, STATE AND FEDERAL AGENCIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY INSURANCE COVERAGE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY UTILITIES INFORMATION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY SURVEYING INFORMATION.

FOR THE CONTRACTOR'S USE ONLY: THIS DRAWING WAS PREPARED BY REED'S METALS, INC. FOR LOCKE PROPERTIES LLC. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL, STATE AND FEDERAL AGENCIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY INSURANCE COVERAGE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY UTILITIES INFORMATION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY SURVEYING INFORMATION.

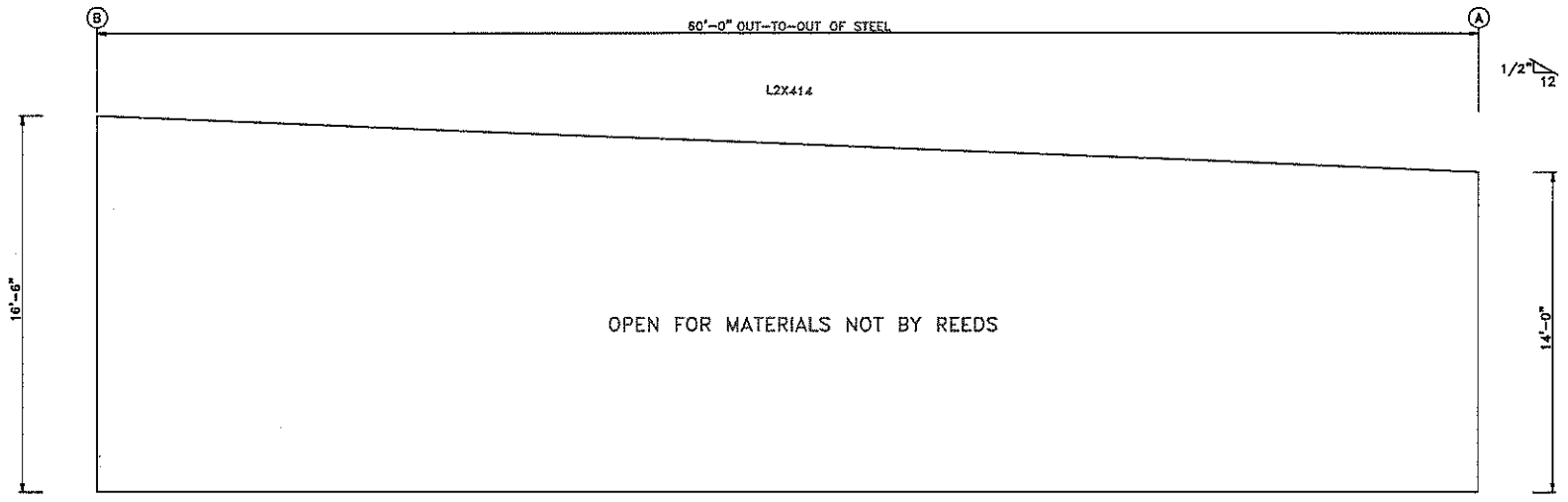
BRUNFIELD
WARD
ASSOCIATES
ARCHITECTS, P.A.
HAROLD C. BRUNFIELD, JR.
W. RANDY WARD

LOCKE PROPERTIES LLC
PROJECT:
ADDRESS: 10 CHURCH BLVD
CONTENTS: 000000

REVISIONS:
DRAWN BY: [blank]
CHECKED BY: BYG
DATE: 5/2/16

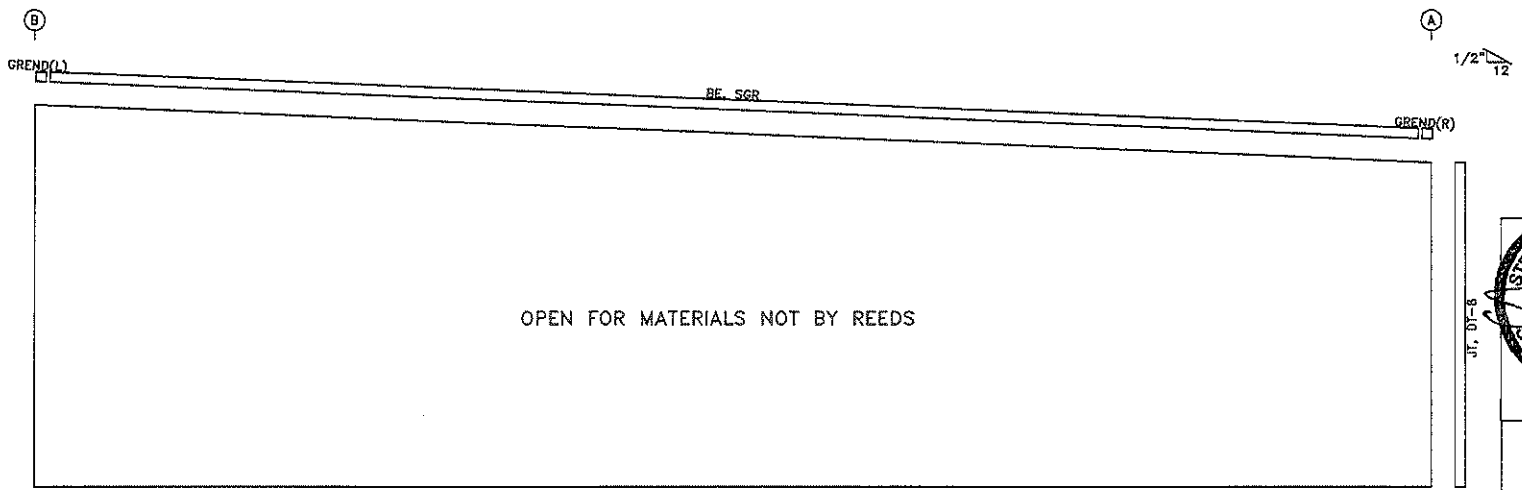
REED'S METALS, INC.
Metal Roofing • Steel Buildings
www.reedsmetals.com

SHEET
E6
OF 6 SHEETS
TOTAL IN SET 16



OPEN FOR MATERIALS NOT BY REEDS

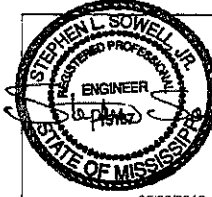
ENDWALL FRAMING: FRAME LINE 5



OPEN FOR MATERIALS NOT BY REEDS

ENDWALL SHEETING & TRIM: FRAME LINE 5

PERMIT DRAWINGS
NOT FOR CONSTRUCTION



05/03/2016

INSULATION TABLE				
ROOF PLAN				
ROLL	QUAN	MARK	WIDTH	LENGTH
1	2	RI-1	4'-0"	62'-6"
2	12	RI-2	6'-0"	62'-6"

H2395-16
 PROJECT NUMBER

PROVISIONS OF SPEC. SHALL BE FOLLOVED UNLESS INDICATED OTHERWISE. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS. REED'S METALS, INC. IS NOT RESPONSIBLE FOR THE ACCURACY OF THIS DRAWING.

DESIGNED BY: W. RANDY WARD
 DRAWN BY: J. B. WARD
 CHECKED BY: J. B. WARD
 DATE: 5/2/16

W. RANDY WARD
 ARCHITECT
 1000 N. W. 10TH AVE.
 MIAMI, FL 33136

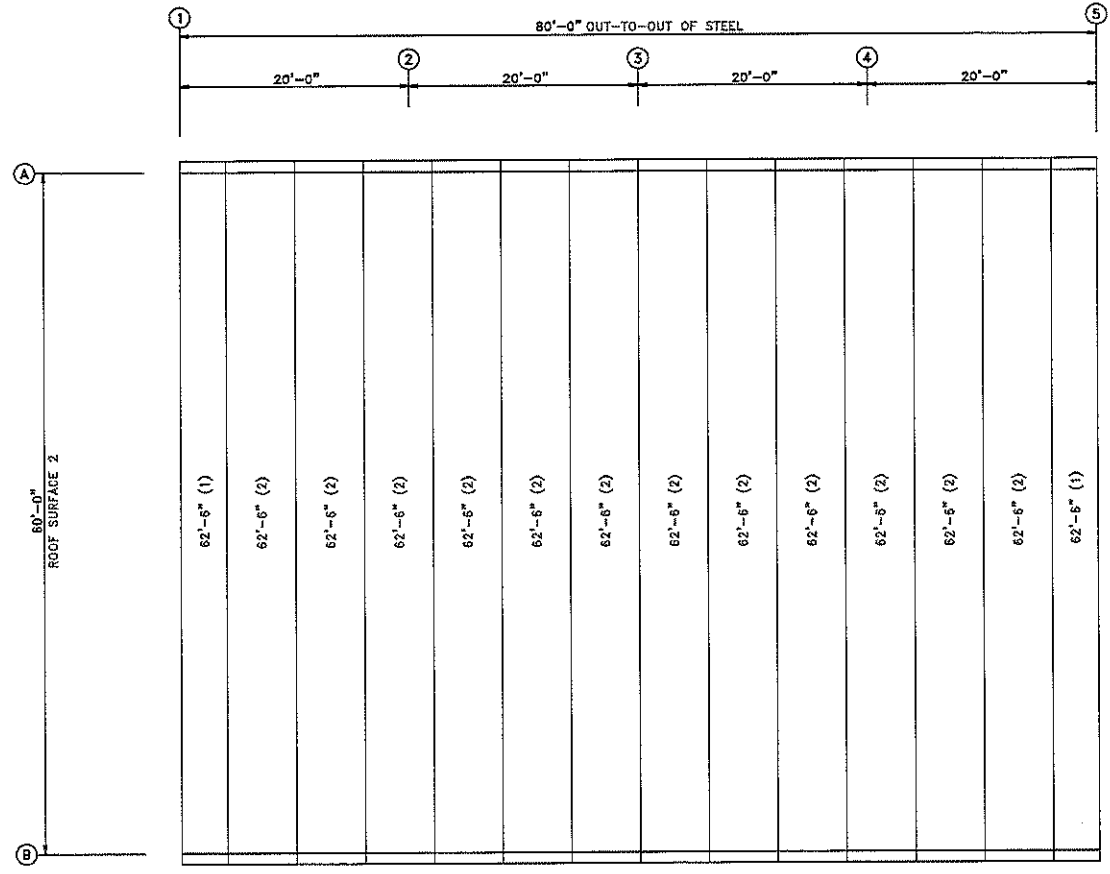
BRUNFIELD
 W. RANDY WARD
 ASSOCIATES
 ARCHITECTS, P.A.
 HAROLD C. BRUNFIELD, JR.

LOCKE PROPERTIES LLC
 115 CONCORDS WAY
 CONVENT, MISSISSIPPI

PROJECT: LOCKE PROPERTIES LLC
 ADDRESS: 115 CONCORDS WAY
 CONVENT, MISSISSIPPI

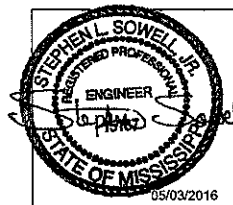
REVISIONS:
 DRAWN BY: J. B. WARD
 CHECKED BY: J. B. WARD
 DATE: 5/2/16

SHEET
 E7
 TOTAL IN SET 19



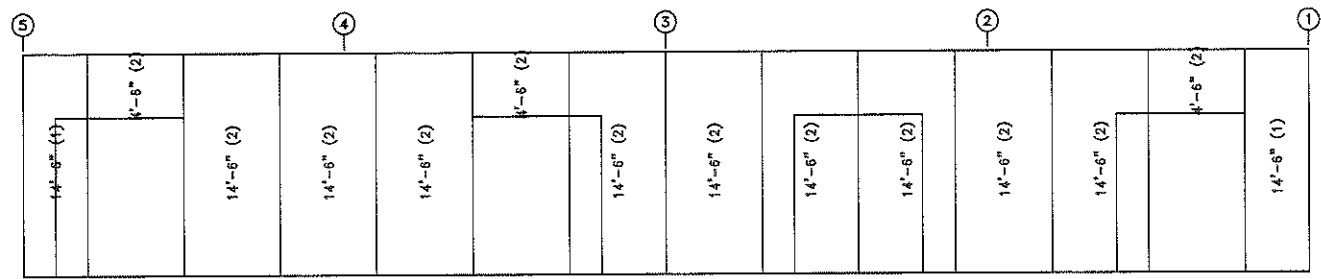
ROOF INSULATION
 INSULATION: 3.00" Thick WR

PERMIT DRAWINGS
 NOT FOR CONSTRUCTION



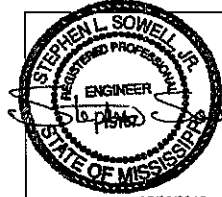
INSULATION TABLE FRAME LINE A				
ROLL	QUAN	MARK	WIDTH	LENGTH
1	1	WI-1	4'-0"	29'-0"
2	1	WI-2	8'-0"	144'-0"

LEGEND:
29'-0" (1)
Length (Roll #)



SIDEWALL INSULATION: FRAME LINE A
INSULATION: 3.00" Thick WR

PERMIT DRAWINGS
NOT FOR CONSTRUCTION



PROJECT: LOCKE PROPERTIES LLC
DRAWN BY: KJ
CHECKED: BYR
DATE: 5/2/18
REVISIONS:
05/03/2016



SHEET
E8
48 SHEETS
TOTAL 6 SET 16

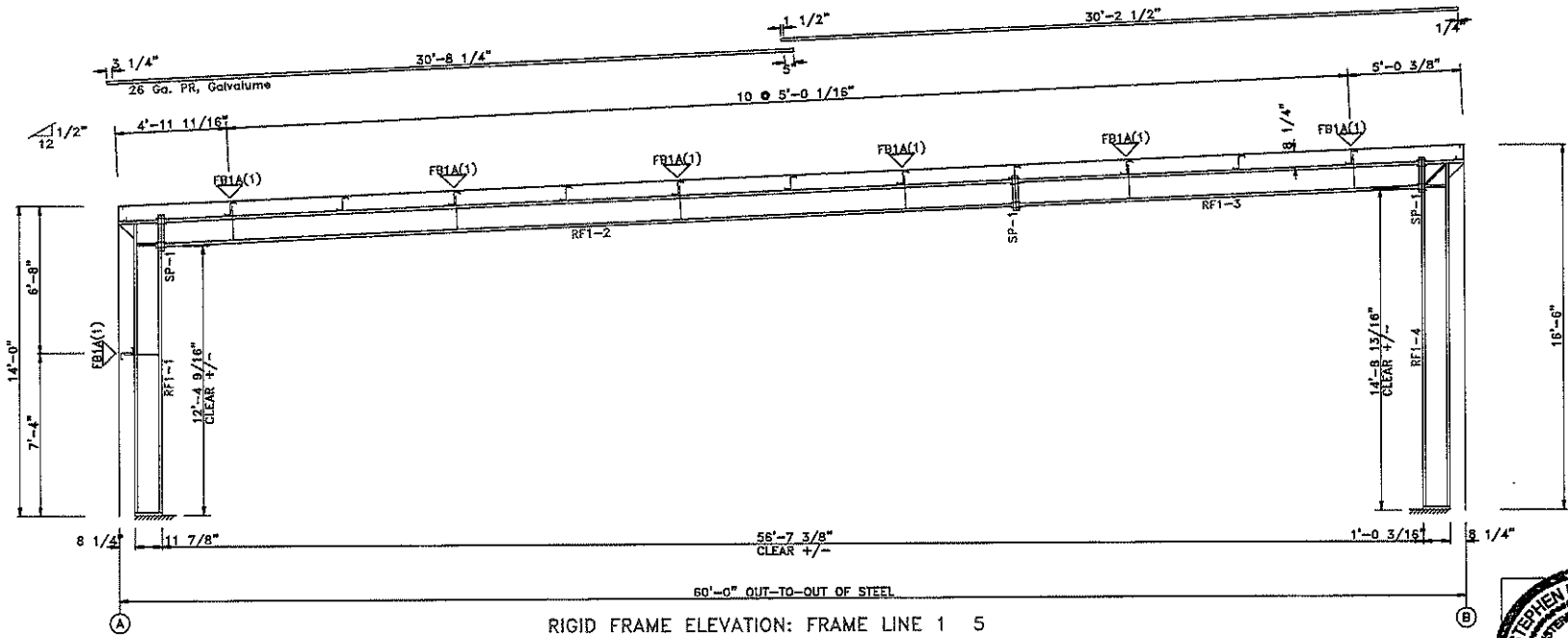
H2395-16
HUB PROJECT NUM
DESIGNED BY: W. RANDY WARD
ARCHITECTS, P.A.
3400 BRUNFIELD, JR.
BRUNFIELD, AR
3700 W. RANDY WARD
BRUNFIELD, AR
3700 W. RANDY WARD
BRUNFIELD, AR

SPLICE BOLT TABLE						
Mark	Qty	Top	Bot	Int	Type	Dia Length
SP-1	4	4	0	A325	0.750	2.00

MEMBER SIZE TABLE		
MARK	MEMBER	LENGTH
RF1-1	W12X14	13'-4 1/16"
RF1-2	W12X16	37'-10 1/4"
RF1-3	W12X16	18'-9 3/4"
RF1-4	W12X26	15'-9 3/8"

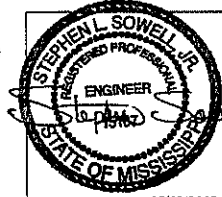
H2395-16
 HVD PROJECT NAME

▽ FLANGE BRACES: Both Sides(U.N.)
 FBxxA(1)
 A - L2X15X12



RIGID FRAME ELEVATION: FRAME LINE 1 5

PERMIT DRAWINGS
 NOT FOR CONSTRUCTION



LOCKE PROPERTIES LLC
 PROJECT: 15-0000000000
 ADDRESS: 15-0000000000
 CONTENTS: 05/03/2016



SHEET
 E9
 of SHEETS
 TOTAL IN SET 19

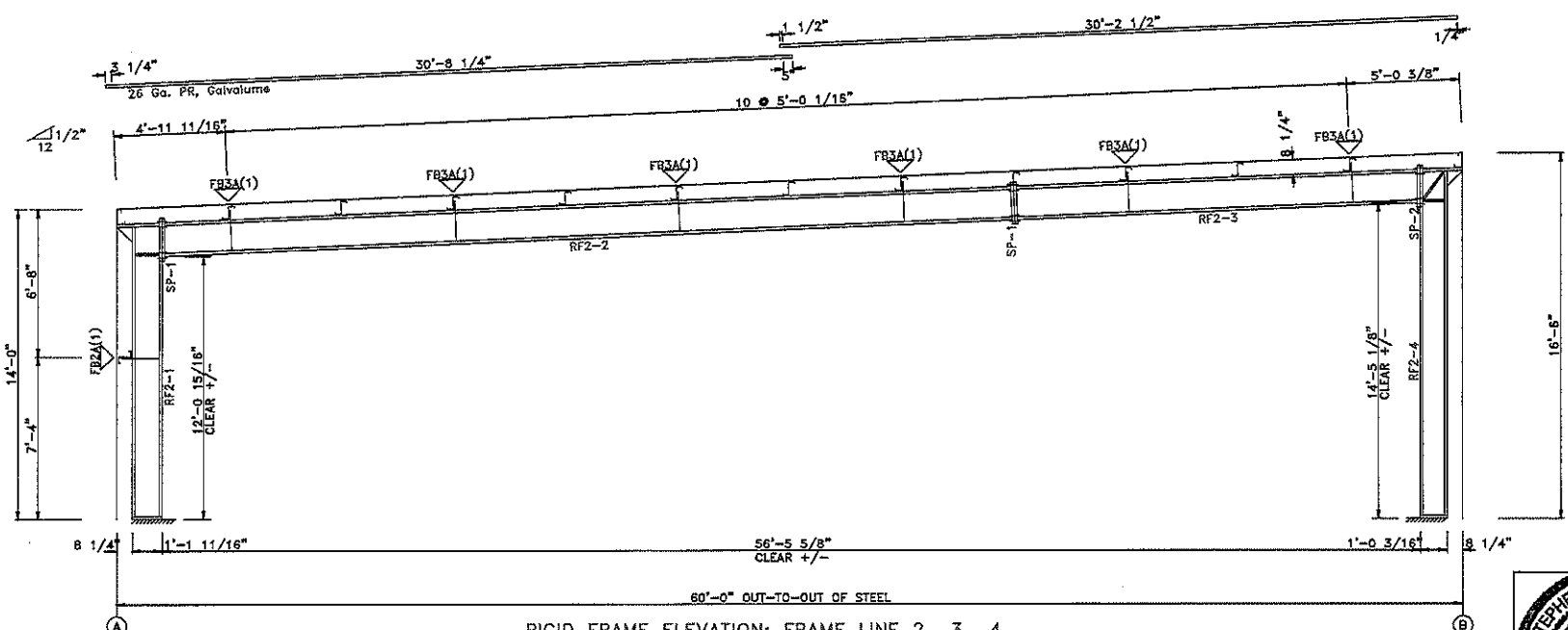
BIRMINGHAM
 W. RANDY WARD
 ARCHITECTS, P.A.
 HAYFIELD C. BRUMFIELD, JR.

SPLICE BOLT TABLE						
Mark	Qty	Top	Bot	Int	Type	Dia Length
SP-1	4	4	0	A325	0.750	2.00
SP-2	4	4	0	A325	0.750	2.25

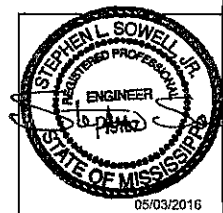
MEMBER SIZE TABLE		
MARK	MEMBER	LENGTH
RF2-1	W14X22	13'-4 1/16"
RF2-2	W16X26	37'-5 7/16"
RF2-3	W16X26	18'-9 3/4"
RF2-4	W12X26	15'-9 3/8"

H2395-16
 H2395-16
 H2395-16

▽ FLANGE BRACES: Both Sides(U.N.)
 FBxxx(A)
 A - L2X15X12



PERMIT DRAWINGS
 NOT FOR CONSTRUCTION



ASSOCIATION OF STATE ENGINEERS
 REGISTERED PROFESSIONAL ENGINEER
 LICENSE NO. 18506
 EXPIRES 05/03/2016

UNSWERABLE TO THE
 SUPPLIER AND ARCHITECT
 NOTE: SEE REVISIONS
 FOR ALL DIMENSIONS
 UNLESS OTHERWISE
 SPECIFIED

BRUNFIELD
 BAWARD
 ASSOCIATES
 ARCHITECTS
 HAROLD C. BRUNFIELD, JR.
 W. RANDY WARD

LOCKE PROPERTIES LLC
 ADDRESS: 18506
 CONTENTS: 05/03/2016

REVISIONS
 DRAWN BY: KJ
 CHECKED BY: BVB
 DATE: 5/2/16

SHEET
 E10
 TOTAL SHEETS
 TOTAL 16 SHEETS

FOUNDATION NOTES:

1. DESIGN IS IN ACCORDANCE WITH THE FOLLOWING:

1. INTERNATIONAL BUILDING CODE - 2012
2. BUILDING CLASSIFICATION - RISK CATEGORY II (NORMAL OCCUPANCY)
3. LIVE LOAD:
 - Roof = 20 psf w/ TRIB. AREA REDUCTION ALLOWED
 - Floor = 60 psf
4. COLLATERAL LOAD = 3 psf
5. WIND LOAD = 115 mph (Vult)
 - A. EXPOSURE "B"
 - B. ENCLOSED BUILDING
 - C. I = 1.0
6. SNOW LOAD = 5 psf (GROUND)
 - A. I = 1.0
 - B. Ct = 0.9
7. SEISMIC LOAD
 - A. SEISMIC USE GROUP II
 - B. I = 1.0
 - C. SEISMIC DESIGN CATEGORY B
 - D. $S_{D1} = 17.8\%$ $S_{D2} = 8.6\%$
 - E. SITE CLASSIFICATION "C"
8. RAINFALL INTENSITY
 - A. 5-YEAR RECURRENCE = 8 IN./HOUR
 - B. 25-YEAR RECURRENCE = 11 IN./HOUR

2. FIELD VERIFY ALL EXISTING ABOVE AND BELOW GROUND CONDITIONS PRIOR TO FABRICATION AND CONSTRUCTION.

3. ALL FOOTINGS SHALL BEAR ON ORIGINAL UNDISTURBED SOIL OR CONTROLLED FILL COMPACTED TO 95% OF STANDARD PROCTOR.

4. UNLESS NOTED LAP ALL HORIZONTAL BARS 30 DIAMETERS AND ALL VERTICAL BARS 24 DIAMETERS.

5. HORIZONTAL REINFORCEMENT ON FOOTINGS, TURNDOWN SLAB, AND WALLS SHALL BE CONTINUOUS AROUND CORNERS.

6. PROVIDE BAR SUPPORTS AND SPACERS IN ACCORDANCE WITH ACI 315-65 "MANUAL OF STANDARD PRACTICE FOR DETAILING REINFORCED CONCRETE STRUCTURES".

7. REINFORCEMENT FOR CONCRETE FOOTINGS CAST AGAINST SOIL SHALL HAVE A MINIMUM COVER OF 3".

8. CONTRACTOR SHALL VERIFY ALL DIMENSIONS PRIOR TO FORMING AND POURING. REPORT ANY CONFLICTS BETWEEN ARCH. AND STRUCTURAL DRAWINGS TO THE ENGINEER. SCALING OF STRUCTURAL DRAWINGS IS NOT PERMITTED.

9. BORROWED FILL MATERIAL SHALL CONSIST OF SOILS HAVING A MOISTURE CONTENT WITHIN 4% OF OPTIMUM AND A PLASTIC INDEX OF NOT LESS THAN 7 & NOT MORE THAN 15.

10. PROVIDE POSITIVE DRAINAGE AWAY FROM SLAB.

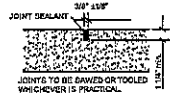
11. INSTALL .010 POLYETHYLENE OVER ALL FILL AND UNDER THE CONCRETE FOOTINGS. SEAL AROUND ALL PIPES AND LAP ALL JOINTS A MINIMUM OF 12".

12. ASSUMED SOIL BEARING CAPACITY = 1200 PSF. A GEOTECHNICAL/SOILS REPORT WAS NOT PROVIDED, AND IT IS THE OWNER'S RESPONSIBILITY TO VERIFY THE EXISTING SOIL CONDITIONS AND REPORT UNSUITABLE SOIL CONDITIONS TO THE ENGINEER PRIOR TO CONSTRUCTION.

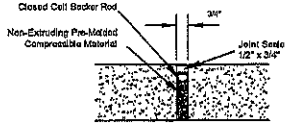
13. OPTIONAL CONTROL JOINTS SPACED AT 20'-0" MAX. EQUALLY SPACED.

MATERIAL REQUIREMENTS:

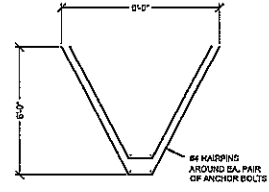
CONCRETE.....fc = 3500 PSI @ 28 DAYS
 REINFORCING.....ASTM A615, GRADE 60
 ANCHOR BOLTS.....ASTM A307
 FRAMING ANCHORS (WOOD).....TECO, SIMPSON OR EQUAL STEEL
 FRAMING ANCHORS (CONCRETE).....HILTI FASTENERS OR EQUAL
 TIMBER.....#2 SO, PINE, KD, MINIMUM
 VAPOR BARRIER.....10-MIL POLY
 WELDED WIRE FABRIC.....ASTM A185
 DEFORMED BAR ANCHORS.....ASTM A495
 CONCRETE MASONRY UNIT.....ASTM C90
 CONCRETE MASONRY UNIT MORTAR.....ASTM C270, TYPE M



TYP. CONTROL JOINT - CJ
SCALE: NONE



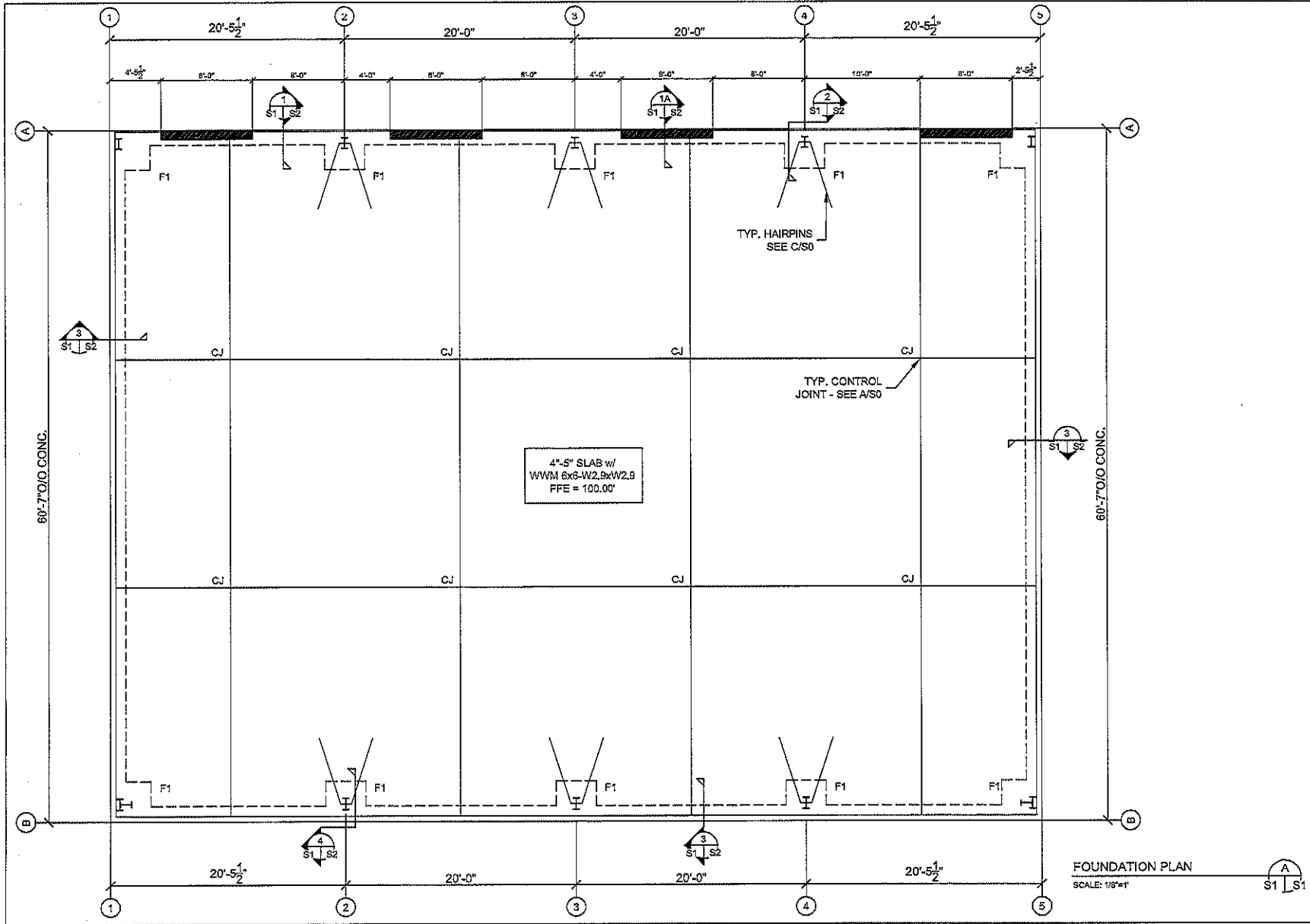
TYP. CONST. JOINT
SCALE: NONE



TYP. HAIRPIN
SCALE: NONE

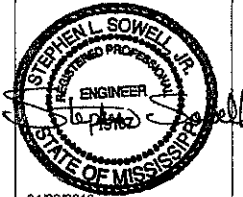
FOUNDATION SCHEDULE		
MARK	SIZE	REINFORCEMENT
F1	3'-6\"/>	

Drawn By: SLS Checked By: S.SOWELL Date: APRIL 2016	AS NOTED APRIL 2016	No. _____ Date _____ Revisions _____ By _____
04/26/2016		
Mr. Bobby Locke - Locke Properties, LLC 4,800 sq. ft. Metal Building Foundation (60'x80') Church Road Madison, MS 39110 (Madison County)		
***** FOUNDATION NOTES AND STANDARD DETAILS		
Job No. H2395-19 Sheet No. SO Sheet 1 of 3		



FOUNDATION PLAN
SCALE: 1/8"=1'

Drawn By:	SJS
Checked By:	S.SOWELL
Scale:	AS NOTED
Date:	APRIL 2016
No.	
Date	
Revisions	
By	



04/26/2016

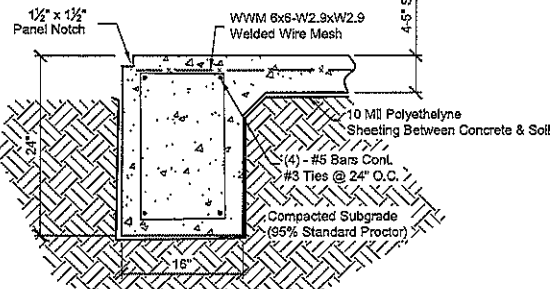
Mr. Bobby Locke - Locke Properties, LLC
4,800 sq. ft. Metal Building Foundation (60'x80')
Church Road
Madison, MS 39110 (Madison County)

FOUNDATION PLAN

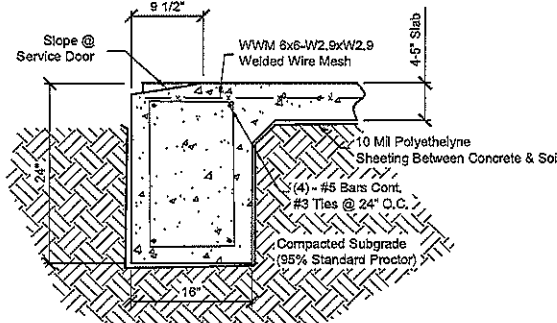
Job No.	H2385-18
Sheet No.	S1
Sheet	2 of 3
Change	

NOTE:

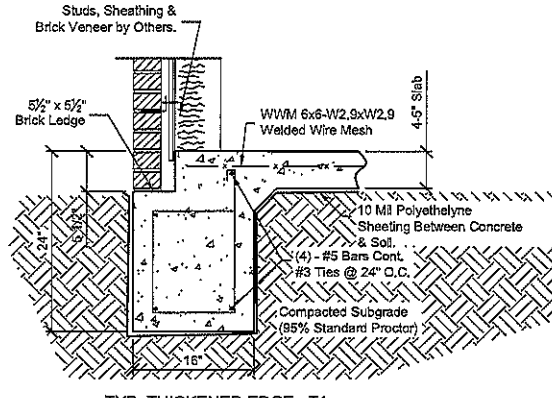
1. NO PANEL NOTCH AT PERSONNEL DOORS OR SERVICE DOORS.
2. SEE ARCH. PLANS FOR LOCATION OF ALL PERSONNEL DOORS AND SERVICE DOORS.



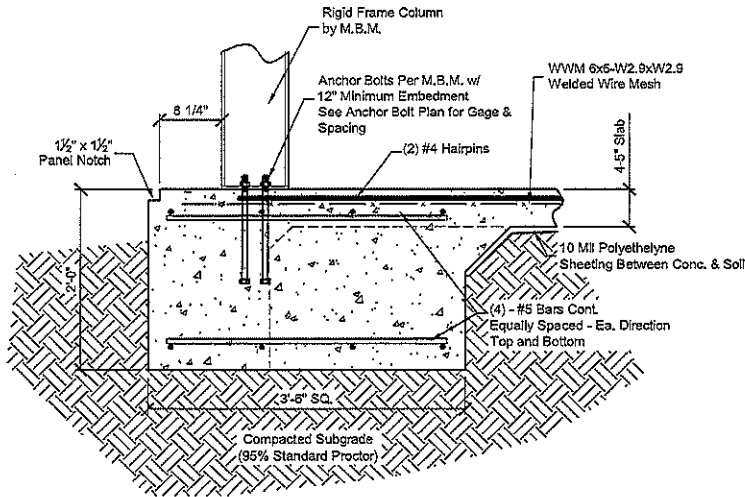
TYP. THICKENED EDGE - T1
SCALE: NONE



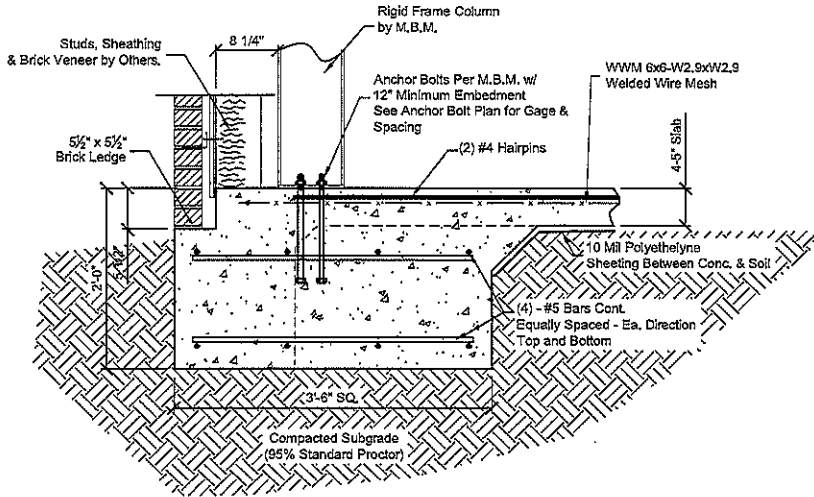
TYP. THICKENED EDGE - T1
SCALE: NONE



TYP. THICKENED EDGE - T1
w/ BRICK LEDGE
SCALE: NONE

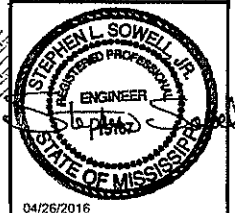


TYP. COLUMN FOOTING - F1
w/ PANEL NOTCH
SCALE: NONE



TYP. COLUMN FOOTING - F1
w/ BRICK LEDGE
SCALE: NONE

Drawn By:	SLS	By:	
Checked By:	S.SOWELL	Revised:	
Date:	AS NOTED	Date:	
Issue:	APRIL 2010	Issue:	



04/26/2010

Mr. Bobby Locke - Locke Properties, LLC
4,800 sq.ft. Metal Building Foundation (60'x80')
Church Road
Madison, MS 39110 (Madison County)

Job No. H2395-10

Sheet No. S2
Sheet 3 of 3
Sheets

FOUNDATION DETAILS